



Pre-DA Assist Report Number : ARCHI-47B05A6092

This Pre-DA Assist Report confirms that the proposed development has been assessed by Archistar. Terms used in this Pre-DA Assist Report have the meaning given by the document entitled "State Environmental Planning Policy (Exempt and Complying Development Codes) 2008" dated 30 June 2022 to date. This document is available at <https://legislation.nsw.gov.au/>

Application Type
Complying Development Report
Date of Issue
4/9/2022
Valid Until
This report is valid for 3 months from the date of issue

Property Details

Site Address 10 Fitzgerald Road, Ermington, NSW 2115	Lot type Standard
Lot/Plan 2/18662	Site Area 853 m ²
Council CITY OF PARRAMATTA COUNCIL	Zone R2: Low Density Residential
	Heritage Listed Zone No

Compliance Overview

This Pre-DA Assist Report has "Passed". Further feedback will be provided once your application has been submitted in the NSW Planning Portal.

Overall status: **PASSED**

✓ Passed The proposed design has successfully met requirements. 8 clauses	? Insufficient Information missing in the uploaded file. 0 clauses
✗ Failed The proposed design has not met the legislative requirements. Refer to Pre DA Assist Report for further information. 0 clauses	⚠ Not Supported 3D geometry is currently not supported. Refer to Pre-DA Assist Report for further information. 1 clauses
– Not Applicable The applicant's submission is not relevant to the legislation. 0 clauses	! Error System error has occurred. Refer to Pre-DA Assist Report for further information. 0 clauses

Certifiers have statutory obligations and functions under the Building and Development Certifiers Act 2018, the Environmental Planning and Assessment (EP&A) Act 1979 and other legislation. This report does not absolve or remove any of these statutory obligations or requirements and Certifiers are responsible and liable for the determination of the application.

Site Properties

Lot/Plan Neighbor A
1/18662

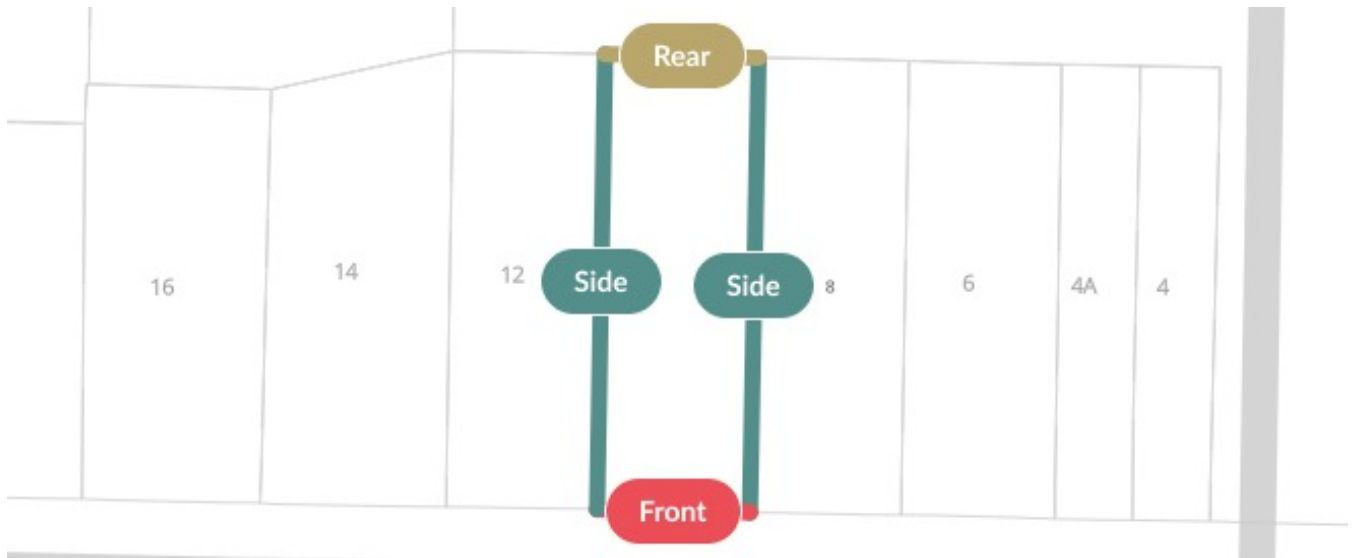
Lot/Plan Neighbor B
3/18662

Neighbour A Front Setback
6.00m

Neighbour B Front Setback
11.10m

Primary Front Setback
8.55m

Site Boundaries



Neighbouring lots & primary front setback



Attached Design

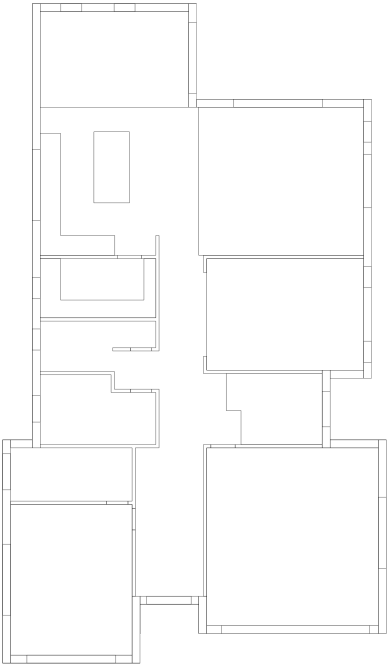
DWG file name
Standard_10FitzgeraldRoadErmington7212.dwg

Ground floor height
3.1m

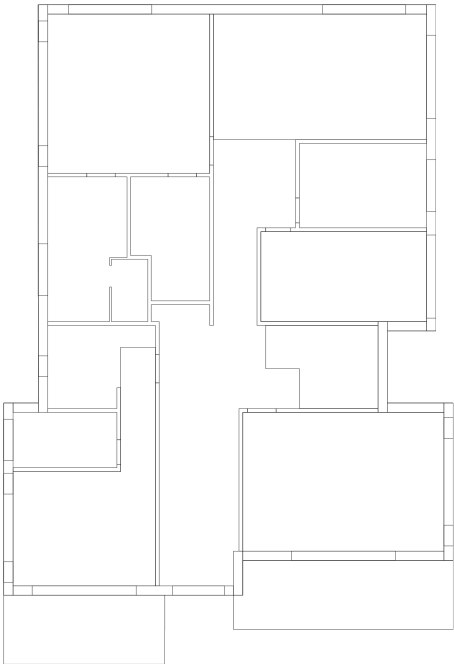
First floor height
3.1m

Total building height
6.5m

Ground floor plan



First floor plan



Compliance Summary

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

No.	Clause	Status
3.8	Maximum Building Height	✔
3.9	Maximum gross floor area of all buildings	✔
3.10	Minimum setbacks and maximum height and length of boundary walls	✔
3.11	Exceptions to setbacks	✔
3.12	Other development standards for balconies, decks, patios, terraces and verandahs attached to side or rear of dwelling house	✔
3.13	Minimum landscaped area	✔
3.14	Building design	✔
3.15	Privacy screens for windows and certain attached development	⚠
3.16	Car parking and vehicle access requirements	✔

Compliance Summary Breakdown

✓ Passed
ⓘ Insufficient
✗ Failed
⚠ Not Supported
⊖ Not Applicable
⚠ Error

Clause	Rule Name	Rules Met	Status
3.8	Maximum Building Height	1 Maximum building height	1/1 ✓
3.9	Maximum gross floor area of all buildings	1 Maximum gross floor area	1/1 ✓
3.10	Minimum setbacks and maximum height and length of boundary walls	1 Primary road setbacks	1/1 ✓
		2 Average front setback	1/1 ✓
		3 Minimum front setback	0/1 ⊖
		4 Side setbacks	3/4 ✓
		5 Exceptions to side setbacks	0/4 ⊖
		6 Build to side boundary	0/3 ⊖
		7 Maximum height of walls within 900mm of side boundary	0/3 ⚠
		8 Maximum length of walls within 900mm of side boundary	0/1 ⊖
		9 Maximum length subclause	0/2 ⚠
		10 Rear setbacks	3/4 ✓
		11 Secondary road setbacks for corner lots	0/1 ⊖
		12 Parallel road setbacks for parallel road lots	0/1 ⊖
		13 Classified road setbacks	0/2 ⊖
		14 Public reserve setbacks	0/1 ⊖
		15 Front setbacks for battle-axe lots	0/1 ⊖
3.11	Exceptions to setbacks	1 Development to which side and rear setbacks do not apply	0/1 ⚠

Compliance Summary Breakdown

✔ Passed
 ? Insufficient
 ✘ Failed
 ⚠ Not Supported
 - Not Applicable
 ! Error

Clause	Rule Name	Rules Met	Status
3.11 Exceptions to setbacks	2 Development to which side and rear setbacks do not apply if 450mm from boundary	0/1	-
	3 Road setbacks do not apply to eaves within 1m	1/1	✔
	4 Development to which road setbacks do not apply	1/1	✔
	5 Lots with rear lanes	0/1	-
	6 Certain attached development may be built within parallel road setback	0/1	-
	7 Setbacks do not apply to existing parts of dwelling house or attached development	0/1	-
	3.12 Other development standards for balconies, decks, patios, terraces and verandahs attached to side or rear of dwelling house	1 Building a balcony, deck patio, terrace and verandahs	2/2
2 Maximum height of floor level		0/1	⚠
3 Total floor area		1/2	✔
3.13 Minimum landscaped area	1 Minimum landscaped area	1/1	✔
	2 Minimum width and length	1/1	✔
	3 Minimum landscaped area - subclause	2/3	✔
	4 Minimum area - private open space	1/1	✔
	4a Private Open Space	1/2	✔
	5 Non applicable developments	0/2	⚠
3.14 Building design	1 Applicability	1/2	✔
	2 Required elements	1/2	✔
	3 Primary road frontage	1/1	✔
	4 Articulation zone	1/1	✔

Compliance Summary Breakdown

✔ Passed
 ? Insufficient
 ✘ Failed
 ⚠ Not Supported
 - Not Applicable
 ! Error

Clause	Rule Name	Rules Met	Status
3.14 Building design	5 Maximum area in articulation zone	1/1	✔
	6 Maximum height of building elements	0/2	⚠
	7 Secondary road frontage on corner lots	0/1	-
	8 Secondary road frontage on corner lots	0/1	-
	9 Secondary road articulation zone	0/2	-
	10 Gable or hipped roof	0/1	-
	3.15 Privacy screens for windows and certain attached development	1 Privacy Screens	0/2
2 Privacy Screens - subclause		0/1	⚠
3 Balconies, decks, patio, terrace and verandah		0/2	⚠
4 Exception		0/1	⚠
3.16 Car parking and vehicle access requirements	1 Off-street parking	1/3	✔
	2 Compliance	0/1	⚠
	3 Off-street parking spaces for battle-axe	0/1	⚠
	4 Attached garage	0/1	⚠
	5 Vehicle access	1/1	✔
	6 Maximum Width	1/1	✔

Pre-DA Assist Report

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚠ Error

3.8

Maximum Building Height

Rule Name	Definition	Status
1 Maximum building height	<p>The maximum height of a dwelling house must not exceed 8.5m above the ground level</p> <p>The maximum height of this building is 6.5m which is below the maximum height allowed of 8.5m. Please check the elevation / section drawings in this application to confirm.</p> <p>Refer to Image 1 in the Appendix</p>	✔

3.9

Maximum gross floor area of all buildings

Rule Name	Definition	Status
1 Maximum gross floor area	<p>The maximum gross floor area of all buildings on a lot must not exceed the values in the table provided</p> <p>The maximum Gross Floor Area is 357.88m² which is within the required GFA of 363.31m².</p> <p>Refer to Image 2 in the Appendix</p>	✔

3.10

Minimum setbacks and maximum height and length of boundary walls

Rule Name	Definition	Status
1 Primary road setbacks	<p>1 The setback of a dwelling house from a primary road must not be less than the average setback from the primary road of the 2 nearest dwelling houses on the same side of the primary road.</p> <p>The front wall is within the setback requirement of 8.55m at 9.41m.</p> <p>Refer to Image 3 in the Appendix</p>	✔
	<p>2 Determining the setbacks from the primary road of the 2 nearest dwellings, the following are not to be included</p> <ul style="list-style-type: none">a) dwelling houses on battle-axe lots,b) any attached development or detached development on other lots,c) building elements in the articulation zone. <p>No geometry to be assessed.</p> <p>Refer to Image 4 in the Appendix</p>	✔
	<p>3 If there are not 2 dwelling houses within 40m of the lot on the same side of the primary road, the dwelling must have a minimum setback listed from the primary road in the table provided</p> <p>Lots with an attached or detached development on surrounding lots are not included in this check.</p> <p>Refer to Image 5 in the Appendix</p>	⚪

3.10

Minimum setbacks and maximum height and length of boundary walls

Rule Name	Definition	Status
4 Side setbacks	<p>4b The following buildings must have a minimum setback from a side boundary with accordance to the table provided</p> <p>b) a carport or garage,</p> <p>The garage of the house complies with the minimum required side setback of 0.9m at 2.24m.</p> <p>Refer to Image 7 in the Appendix</p>	✔
	<p>The following buildings must have a minimum setback from a side boundary with accordance to the table provided</p> <p>c) a balcony, deck, patio, pergola, terrace or verandah,</p> <p>The required elements comply with the minimum required side setback of 0.9m.</p> <p>Refer to Image 8 in the Appendix</p>	✔
	<p>The following buildings must have a minimum setback from a side boundary with accordance to the table provided</p> <p>d) a cabana, cubby house, garden shed, gazebo, fernery, greenhouse or shed.</p> <p>There are no spaces of type Shed, Cabana, CubbyHouse, GardenShed, Gazebo, Fernery, GreenHouse in the house.</p> <p>Refer to Image 9 in the Appendix</p>	⊖
	<p>A building may be built to 1 or both side boundaries if:</p> <p>a) the lot is not a corner lot, and</p> <p>The building line length is 16.9m, which is outside of the 6-8m limit.</p> <p>Refer to Image 10 in the Appendix</p>	⊖
	<p>b) the lot width measured at the building line is at least 6m, but not more than 8m, and</p> <p>The building line length is 16.9m, which is outside of the 6-8m limit.</p> <p>Refer to Image 11 in the Appendix</p>	⊖
	<p>c) if there is a building wall on the adjoining lot within 900mm of that boundary—that wall is of masonry construction and does not have a window facing that boundary, and</p> <p>The building line length is 16.9m, which is outside of the 6-8m limit.</p> <p>Refer to Image 12 in the Appendix</p>	⊖

3.10

Minimum setbacks and maximum height and length of boundary walls

Rule Name	Definition	Status
6 Build to side boundary	<p>A building may be built to 1 side boundary if:</p> <p>a) the lot width measured at the building line is more than 8m, but not more than 12.5m, and</p> <p>This clause is not applicable as the lot is wider than 12m at 16.9m.</p> <p>Refer to Image 14 in the Appendix</p>	⊖
	<p>b) any building wall on the adjoining lot within 900mm of that boundary is of masonry construction and does not have a window facing that boundary, and</p> <p>Condition currently not supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 15 in the Appendix</p>	⚠
	<p>c) any wall erected within 900mm of the side boundary will not contain a door, window or any other opening.</p> <p>This clause is not applicable as the lot is wider than 12.5m at 16.9m.</p> <p>Refer to Image 16 in the Appendix</p>	⊖
	<p>The height of a wall erected within 900mm of a side boundary must not exceed:</p> <p>a) 3.3m above ground level (existing), or</p> <p>3D geometry is not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 17 in the Appendix</p>	⚠
	<p>b) if there is a building wall on the adjoining lot within 900mm of that boundary that is higher than 3.3m—the height of that wall, but not more than 8.5m, or</p> <p>3D geometry is not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 18 in the Appendix</p>	⚠

3.10

Minimum setbacks and maximum height and length of boundary walls

Rule Name	Definition	Status
8 Maximum length of walls within 900mm of side boundary	The length of all walls within 900mm of a side boundary must not exceed the length in the table provided	⊖
	<p>This condition does not apply as the lot is wider than 12.5m at 16.9m</p> <p>Refer to Image 20 in the Appendix</p>	
	Despite subclause (8), the maximum length of a wall erected within 900mm of a side boundary is	⚠
	a) if there is a building wall on the adjoining lot within 900mm of that boundary that is longer than the maximum length is the length of that wall	
	<p>Condition currently not supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 21 in the Appendix</p>	
	b) if the building on the adjoining lot is subject to the same complying development certificate under clause 126(4) of the Environmental Planning and Assessment Regulation 2000—the length of the wall on the adjoining lot.	⚠
<p>Condition currently not supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 22 in the Appendix</p>		
	The following buildings on a lot must have a minimum setback from the rear boundary listed in the table provided:	✔
	a) a dwelling house,	
<p>The design complies with the minimum required rear setback of 3m at 18.75m.</p> <p>Refer to Image 23 in the Appendix</p>		
	The following buildings on a lot must have a minimum setback from the rear boundary listed in the table provided:	✔
	b) a carport or garage,	
<p>The garage of the house complies with the minimum required rear setback of 3m at 33.73m.</p> <p>Refer to Image 24 in the Appendix</p>		

3.10

Minimum setbacks and maximum height and length of boundary walls

Rule Name	Definition	Status
10 Rear setbacks	<p>The following buildings on a lot must have a minimum setback from the rear boundary listed in the table provided:</p> <p>d) a cabana, cubby house, garden shed, gazebo, fernery, greenhouse or shed.</p> <p>There are no eligible spaces found in the model.</p> <p>Refer to Image 26 in the Appendix</p>	⊖
	<p>A dwelling house must have a minimum setback from a boundary with a secondary road with accordance to the table provided</p> <p>The house is not in a corner lot.</p> <p>Refer to Image 27 in the Appendix</p>	⊖
	<p>A dwelling house must have a setback from a boundary with a parallel road of at least 3m.</p> <p>This lot does not contain a parallel road.</p> <p>Refer to Image 28 in the Appendix</p>	⊖
	<p>A dwelling house and any attached development must have a setback from a boundary with a classified road of at least:</p> <p>a) the setback for a dwelling house from a classified road specified by another environmental planning instrument applying to the land, or</p> <p>This lot does not contain a classified road.</p> <p>Refer to Image 29 in the Appendix</p>	⊖
	<p>b) if no setback is specified—9m.</p> <p>This lot does not contain a classified road.</p> <p>Refer to Image 30 in the Appendix</p>	⊖
	<p>A dwelling house and any cabana, cubby house, garden shed, gazebo, fernery, greenhouse, shed or detached studio must have a setback from a boundary with a public reserve of at least 3m.</p> <p>This lot does not contain public reserve.</p> <p>Refer to Image 31 in the Appendix</p>	⊖
	<p>A dwelling house on a battle-axe lot must have a setback from the rear boundary of the lot that is in front of the battle-axe lot of at least 3m</p> <p>This is not a battle-axe lot.</p> <p>Refer to Image 32 in the Appendix</p>	⊖

3.11

Exceptions to setbacks

Rule Name	Definition	Status
2 Development to which side and rear setbacks do not apply if 450mm from boundary	<p>Development to which side and rear setbacks do not apply if 450mm from boundary, The setback standards specified in clause 3.10(4) and (10) do not apply to the following if they are at least 450mm from the relevant boundary:</p> <ul style="list-style-type: none"> a) aerials, b) antennae, c) awnings, d) chimneys, e) cooling or heating appliances, f) eaves, g) flues, h) pipes, i) privacy screens, j) rainwater tanks not more than 1.8m in height, (k) structures associated with the provision of a utility service. <p style="background-color: #e0e0e0; padding: 5px;">No additional elements will be considered in the side and rear setback.</p> <p>Refer to Image 34 in the Appendix</p>	⊖
	<p>Road setbacks do not apply to eaves within 1m The setback standards specified in clause 3.10(1), (3), (11), (12) and (13) do not apply to eaves if they are within 1m of the dwelling house.</p> <p style="background-color: #e0f2f1; padding: 5px;">There are 17 eaves under the 1m limit.</p> <p>Refer to Image 35 in the Appendix</p>	✔
	<p>Development to which road setbacks do not apply The setback standards specified in clause 3.10(1), (3), (11), (12) and (13) do not apply to the following:</p> <ul style="list-style-type: none"> a) driveways, b) pathways and paving, c) retaining walls, d) any building elements that are permitted within a primary or secondary articulation zone. <p style="background-color: #e0f2f1; padding: 5px;">The setback standards specified in clause 3.10(1), (3), (11), (12) and(13) do not apply.</p> <p>Refer to Image 36 in the Appendix</p>	✔

3.11

Exceptions to setbacks

Rule Name	Definition	Status
6 Certain attached development may be built within parallel road setback	<p>Certain attached development may be built within parallel road setback Despite clause 3.10(12), a cabana, cubby house, fernery, garden shed, gazebo, greenhouse or shed may be built within 3m of, or abut, a parallel road boundary for a maximum of 50% of the length of that boundary if the parallel road is not a classified road.</p> <p>This lot does not contain a parallel road.</p> <p>Refer to Image 38 in the Appendix</p>	⊖
	<p>Setbacks do not apply to existing parts of dwelling house or attached development The setback standards specified in clause 3.10 do not apply to any existing parts of a dwelling house or attached development that will remain on the lot after the complying development is carried out.</p> <p>Compliance test not applicable for elements built after a complying development is carried out.</p> <p>Refer to Image 39 in the Appendix</p>	⊖

3.12

Other development standards for balconies, decks, patios, terraces and verandahs attached to side or rear of dwelling house

Rule Name	Definition	Status
1 Building a balcony, deck patio, terrace and verandahs	<p>The erection of a balcony, deck, patio, terrace or verandah that is attached to the side or rear elevation of a dwelling house is only permitted on a lot if:</p> <p>a) the area of the lot is more than 300m², and</p> <p>The area of the lot is greater than 300m².</p> <p>Refer to Image 40 in the Appendix</p>	✔
	<p>b) the width of the lot, measured at the building line, is more than 10m.</p> <p>The lot width is greater than 10m.</p> <p>Refer to Image 41 in the Appendix</p>	✔
	<p>The maximum height of the floor level of the balcony, deck, patio, terrace or verandah is the height shown in the table provided</p> <p>Condition currently not supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 42 in the Appendix</p>	⚠

3.12

Other development standards for balconies, decks, patios, terraces and verandahs attached to side or rear of dwelling house

Rule Name	Definition	Status
3 Total floor area	<p>b) have a finished floor level of more than 2m above ground level (existing), must not be more than 12m2.</p> <p>Condition currently not supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 44 in the Appendix</p>	⚠

3.13

Minimum landscaped area

Rule Name	Definition	Status
1 Minimum landscaped area	<p>The minimum landscaped area that must be provided on a lot is shown in the table provided</p> <p>The landscape area achieves the minimum required area of 255.97m2 at 509.86m2.</p> <p>Refer to Image 45 in the Appendix</p>	✔
	<p>Each landscaped area must have a minimum width and length of 1.5m</p> <p>The landscape area(s) reach the minimum required dimensions</p> <p>Refer to Image 46 in the Appendix</p>	✔
	<p>The minimum landscaped area calculated in accordance with subclause (1) must be provided as follows</p> <p>a) if the lot width measured at the building line is 18m or less—25% of the area forward of the building line must be landscaped,</p> <p>The landscaped area forward of the building line does achieve the minimum percentage of 25% at 67.53%.</p> <p>Refer to Image 47 in the Appendix</p>	✔
	<p>b) if the lot width measured at the building line is more than 18m—50% of the area forward of the building line must be landscaped,</p> <p>The lot width at the building line is below 18m at 16.9m.</p> <p>Refer to Image 48 in the Appendix</p>	⊖
	<p>c) 50% of the minimum landscaped area must be located behind the building line.</p> <p>The landscape area behind the building line does achieve the minimum percentage of 50% at 157.28%.</p> <p>Refer to Image 49 in the Appendix</p>	✔

3.13

Minimum landscaped area

Rule Name	Definition	Status
4a Private Open Space	<p>The principal private open space must:</p> <p>a) be at least 3m wide and 3m long, and</p> <p>The principal private open spaces meet the minimum dimensions.</p> <p>Refer to Image 51 in the Appendix</p>	✔
	<p>b) not be steeper than 1:50 gradient.</p> <p>3D geometry is not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 52 in the Appendix</p>	⚠
	<p>This clause does not apply to complying development that is the alteration of, or an addition to, a dwelling house or attached development if the development does not</p> <p>a) increase the footprint of the dwelling house or attached development, or</p> <p>Condition currently not supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 53 in the Appendix</p>	⚠
	<p>b) decrease the landscaped area on the lot.</p> <p>Condition currently not supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 54 in the Appendix</p>	⚠

3.14

Building design

Rule Name	Definition	Status
1 Applicability	<p>This clause applies to the following development on a lot other than a battle-axe lot:</p> <p>a) the erection of a new dwelling house,</p> <p>No geometry to be assessed.</p> <p>Refer to Image 55 in the Appendix</p>	✔
	<p>b) alterations and additions to the front of an existing dwelling house.</p> <p>Alterations or additions are not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 56 in the Appendix</p>	⚠

3.14

Building design

Rule Name	Definition	Status
2 Required elements	<p>b) at least 1 door and 1 window to a habitable room at ground floor level facing any parallel road.</p> <p>This lot does not contain a parallel road.</p> <p>Refer to Image 58 in the Appendix</p>	⊖
	<p>A dwelling house with a setback from a primary road of at least 3m may have an articulation zone that extends up to 1.5m forward of the minimum required setback from the primary road.</p> <p>Articulation zone complies with the relevant specifications.</p> <p>Refer to Image 59 in the Appendix</p>	✔
	<p>The following building elements may be located in the articulation zone</p> <ul style="list-style-type: none"> a) an entry feature or portico, b) a balcony, deck, pergola, terrace or verandah, c) a window box treatment, d) a bay window or similar feature, e) an awning or other feature over a window, f) a sun shading feature, g) an eave. <p>The spaces of type Portico are within the articulation zone.</p> <p>Refer to Image 60 in the Appendix</p>	✔
	<p>The maximum total area of all building elements in the articulation zone, other than a building element specified in subclause (4)(e), (f) or (g), must not comprise more than 25% of the area of the articulation zone.</p> <p>The spaces in the articulation zone do not exceed the maximum allowable area of 9.94m² at 4.04m².</p> <p>Refer to Image 61 in the Appendix</p>	✔
	<p>Maximum height of building elements A building element on a dwelling house (other than an entry feature or portico that has the same pitch as the roof on the dwelling house) must not extend:</p> <ul style="list-style-type: none"> a) more than 1m above the gutter line of the eaves of a single storey dwelling house, or <p>3D geometry is not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 62 in the Appendix</p>	⚠

3.14

Building design

Rule Name	Definition	Status
7 Secondary road frontage on corner lots	Secondary road frontage on corner lots A dwelling house on a corner lot must have a window to a habitable room with an area of at least 1m ² that faces and is visible from the secondary road	-
	The house is not in a corner lot.	
	Refer to Image 64 in the Appendix	
	A dwelling house with a setback from a secondary road of not more than 4.5m must have at least one of the following building elements for a minimum length of 20% of the elevation of the walls that face the secondary road and that are within 4.5m of the secondary road	-
	a) an entry feature or portico, b) a balcony, deck, pergola, terrace or verandah, c) a bay window, d) a step of at least 600mm in depth.	
	The lot does not have secondary road segments.	
	Refer to Image 65 in the Appendix	
	Building elements listed in subclause (8) may be located in a secondary road articulation zone if:	-
	a) the zone extends no more than 1m into the minimum required setback area and spans the length of the walls that face the secondary road, and	
	The lot does not have secondary road segments.	
	Refer to Image 66 in the Appendix	
	b) the building element comprises no more than 20% of the zone area.	-
	The lot does not have secondary road segments.	
	Refer to Image 67 in the Appendix	
	Any part of a gable or hipped roof that overhangs walls that are within 4.5m of the secondary road boundary must include eaves that extend for the length of those walls and project at least 450mm, but not more than 1m from those walls.	-
	The lot does not have secondary road segments.	
	Refer to Image 68 in the Appendix	

3.15

Privacy screens for windows and certain attached development

Rule Name	Definition	Status
1 Privacy Screens	<p>b) the window faces and is at least 3m, but not more than 6m, from a side or rear boundary and the room has a finished floor level of more than 3m above ground level (existing).</p> <p>Privacy screens for windows are not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 70 in the Appendix</p>	⚠
	<p>Subclause (1) does not apply to a bedroom window that has an area of not more than 2m².</p> <p>Privacy screens for windows are not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 71 in the Appendix</p>	⚠
	<p>A privacy screen of at least 1.7m, but not more than 2.2m, above the finished floor level of a balcony, deck, patio, terrace or verandah must be installed at the edge of that part of the balcony, deck, patio, terrace or verandah that is parallel to or faces towards the relevant side or rear boundary if the area of the balcony, deck, patio, terrace or verandah is at least 3m² and</p> <p>a) that edge is less than 3m from a side or rear boundary and the balcony, deck, patio, terrace or verandah has a finished floor level of more than 1m above ground level (existing), or</p> <p>Privacy screens for windows are not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 72 in the Appendix</p>	⚠

3.15

Privacy screens for windows and certain attached development

Rule Name	Definition	Status
4 Exception	<p>This clause does not apply to any existing parts of a dwelling house or attached development that will remain on the lot after the complying development is carried out.</p> <p>Privacy screens for windows are not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 74 in the Appendix</p>	⚠

3.16

Car parking and vehicle access requirements

Rule Name	Definition	Status
1 Off-street parking	<p>At least 1 off-street car parking space, being an open hard stand space or a carport or garage, must be provided on a lot unless</p> <p>a) the lot has a width of less than 8m measured at the building line, or</p> <p>The lot requires and contains a car parking space.</p> <p>Refer to Image 75 in the Appendix</p>	✔
	<p>b) the complying development is the alteration of, or an addition to, a dwelling house and the lot does not contain an off-street car parking space, or</p> <p>Alterations or additions are not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 76 in the Appendix</p>	⚠
	<p>c) the complying development is the erection or alteration of, or an addition to, attached development and the lot does not contain an off-street car parking space.</p> <p>Alterations or additions are not currently supported. Clauses that are not supported by Archistar may need manual assessment as part of your CDC application.</p> <p>Refer to Image 77 in the Appendix</p>	⚠

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Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚠ Error

Image 1: 3.8: 1 Maximum building height

✔

The maximum height of a dwelling house must not exceed 8.5m above the ground level
Refer to [this condition](#) in the Pre-DA Assist Report

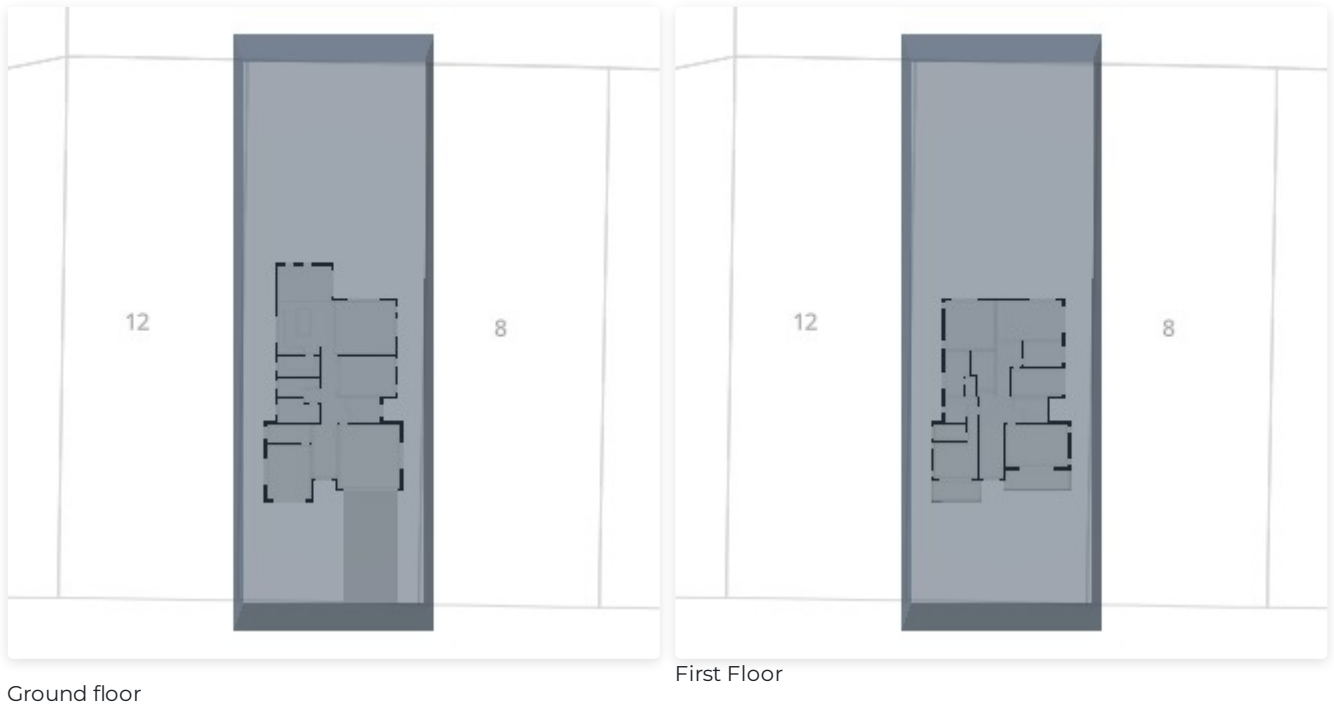


Image 2: 3.9: 1 Maximum gross floor area

✔

The maximum gross floor area of all buildings on a lot must not exceed the values in the table provided
Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 3: 3.10: 1 Primary road setbacks

1 The setback of a dwelling house from a primary road must not be less than the average setback from the primary road of the 2 nearest dwelling houses on the same side of the primary road. ✔

Refer to [this condition](#) in the Pre-DA Assist Report

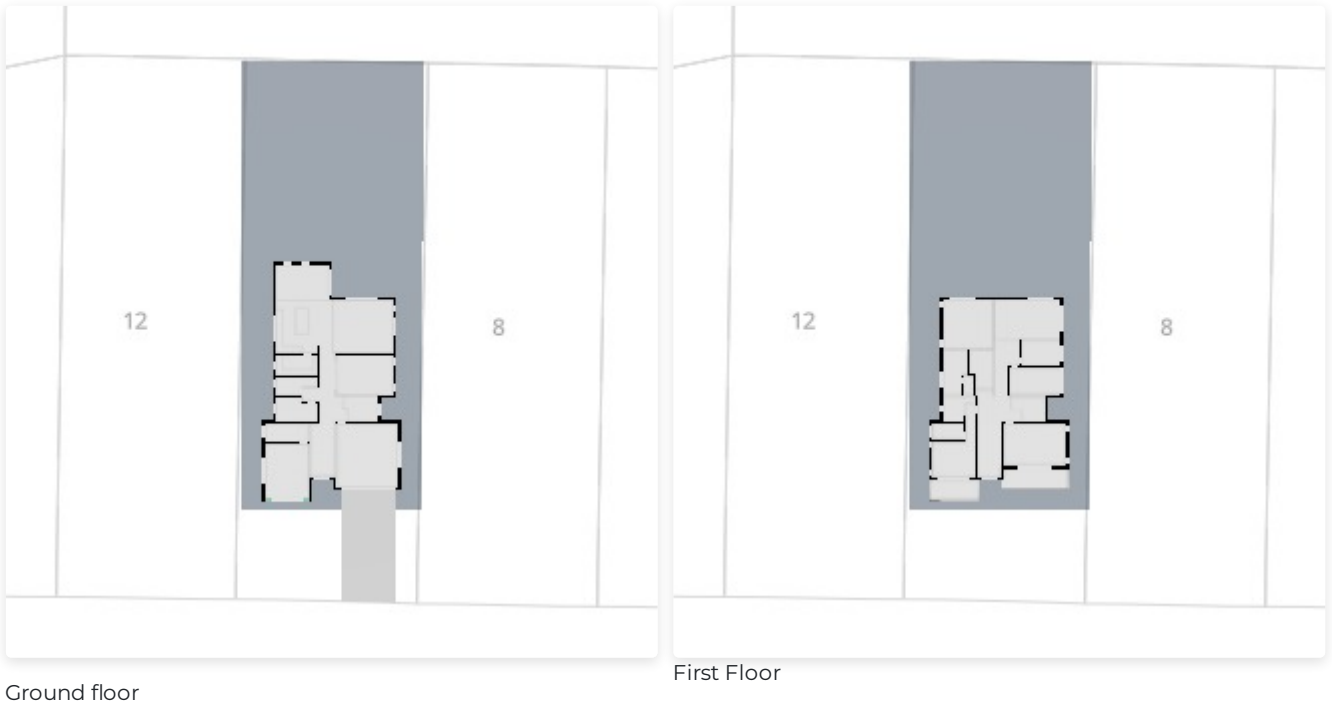


Image 4: 3.10: 2 Average front setback

2 Determining the setbacks from the primary road of the 2 nearest dwellings, the following are not to be included ✔

- a) dwelling houses on battle-axe lots,
- b) any attached development or detached development on other lots,
- c) building elements in the articulation zone.

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 5: 3.10: 3 Minimum front setback

3 If there are not 2 dwelling houses within 40m of the lot on the same side of the primary road, the dwelling must have a minimum setback listed from the primary road in the table provided ⚪

Refer to [this condition](#) in the Pre-DA Assist Report

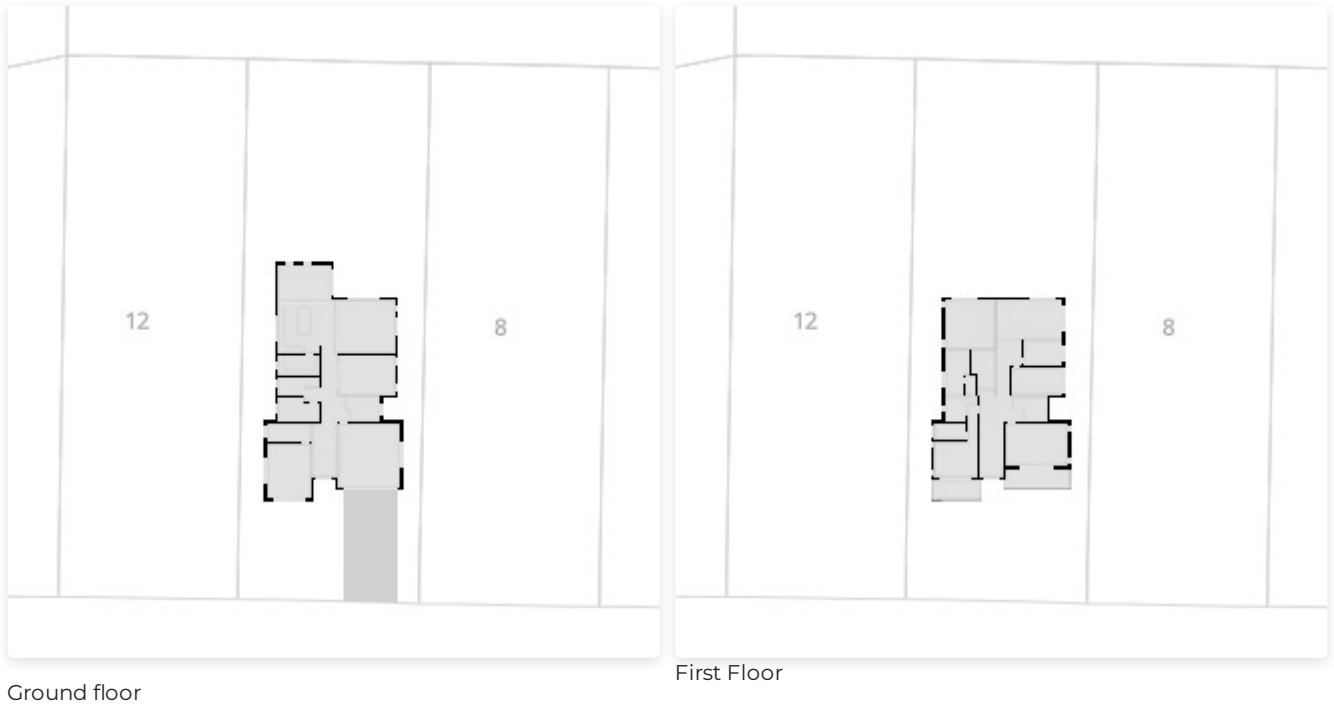
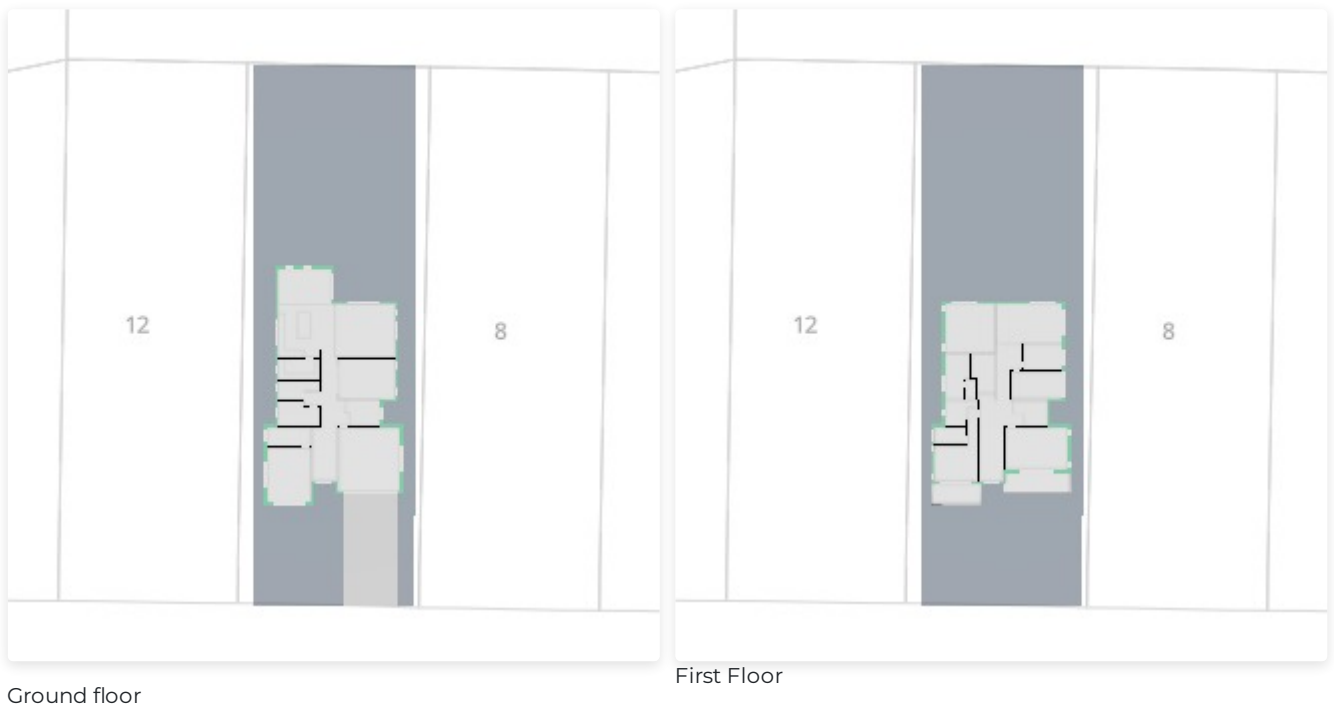


Image 6: 3.10: 4 Side setbacks

4a The following buildings must have a minimum setback from a side boundary with accordance to the table provided ✔
a) a dwelling house

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 7: 3.10: 4 Side setbacks

4b The following buildings must have a minimum setback from a side boundary with accordance to the table provided
b) a carport or garage,



Refer to [this condition](#) in the Pre-DA Assist Report

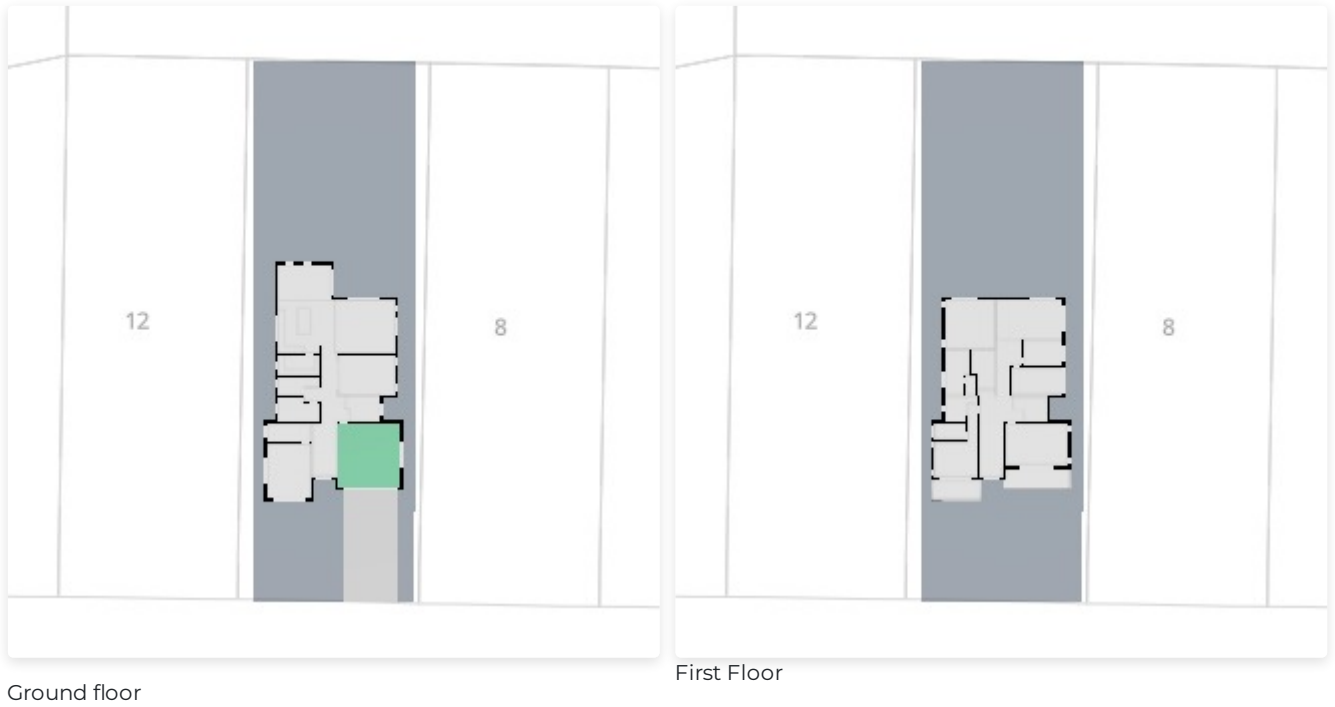
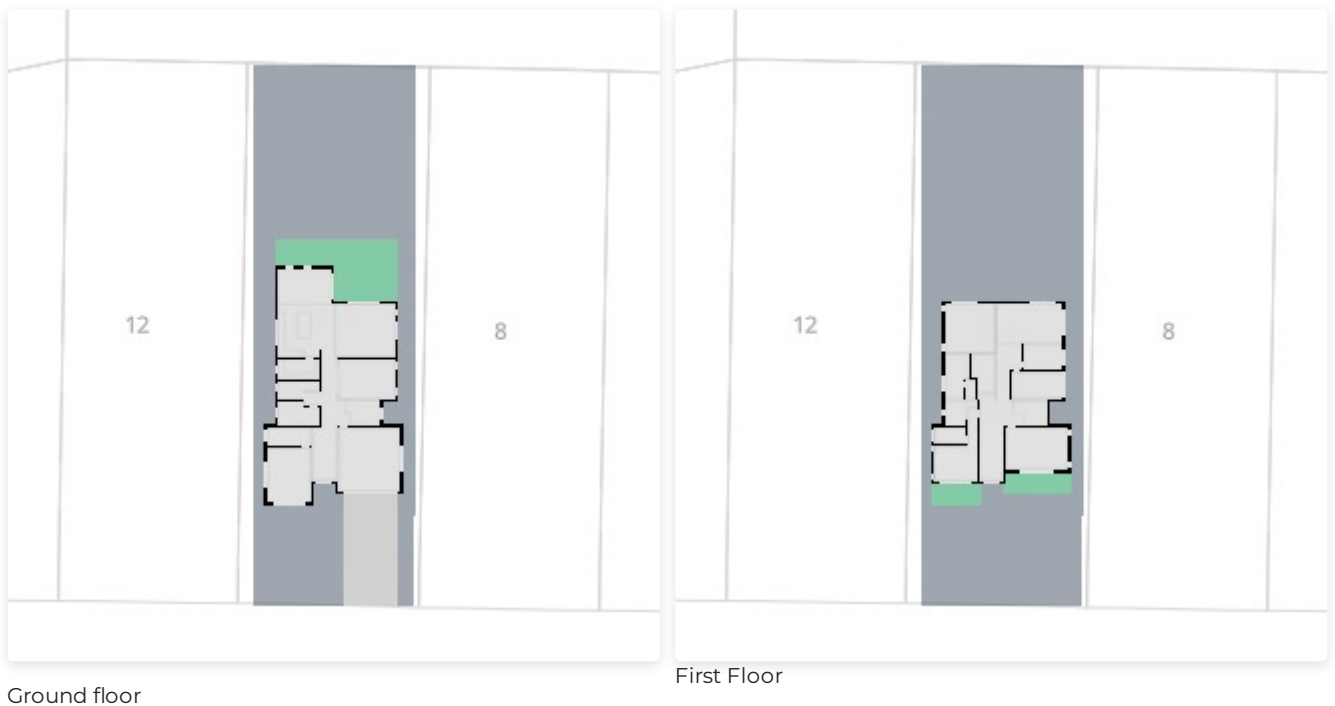


Image 8: 3.10: 4 Side setbacks

The following buildings must have a minimum setback from a side boundary with accordance to the table provided
c) a balcony, deck, patio, pergola, terrace or verandah,



Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 9: 3.10: 4 Side setbacks

The following buildings must have a minimum setback from a side boundary with accordance to the table provided
d) a cabana, cubby house, garden shed, gazebo, fernery, greenhouse or shed.

Refer to [this condition](#) in the Pre-DA Assist Report

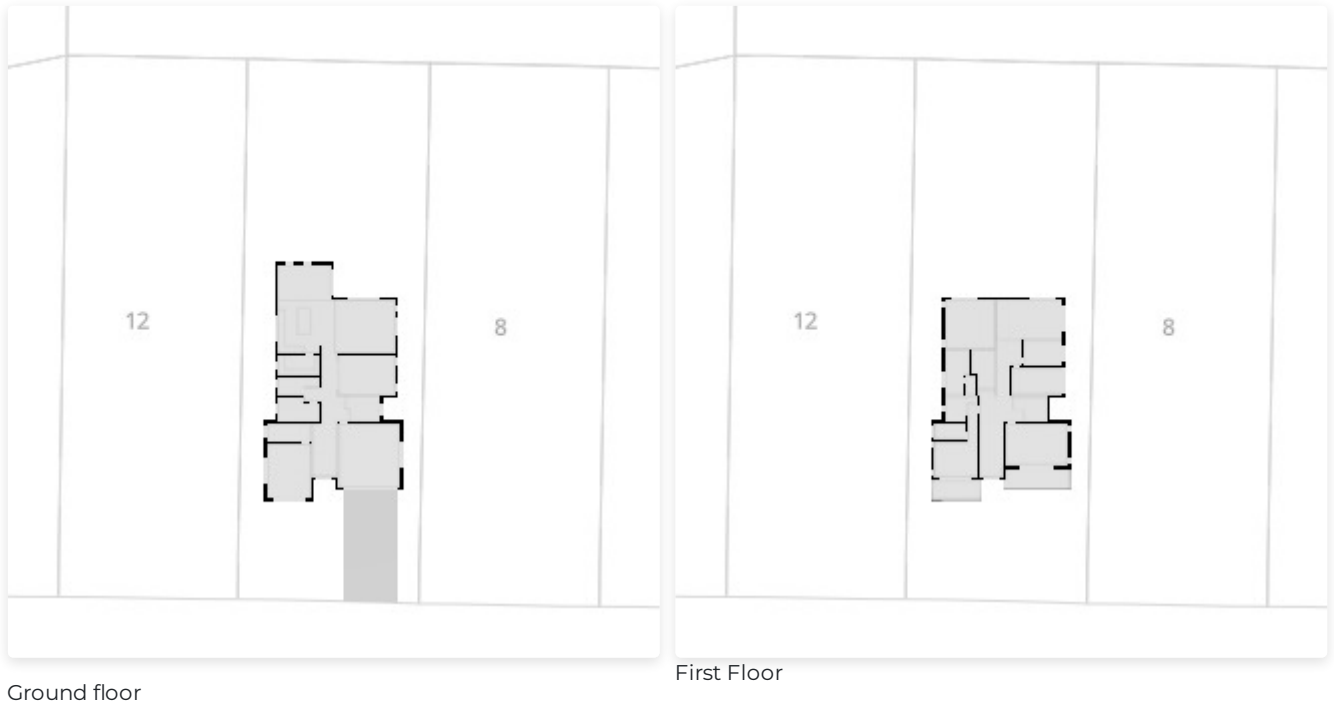


Image 10: 3.10: 5 Exceptions to side setbacks

A building may be built to 1 or both side boundaries if:

a) the lot is not a corner lot, and

Refer to [this condition](#) in the Pre-DA Assist Report

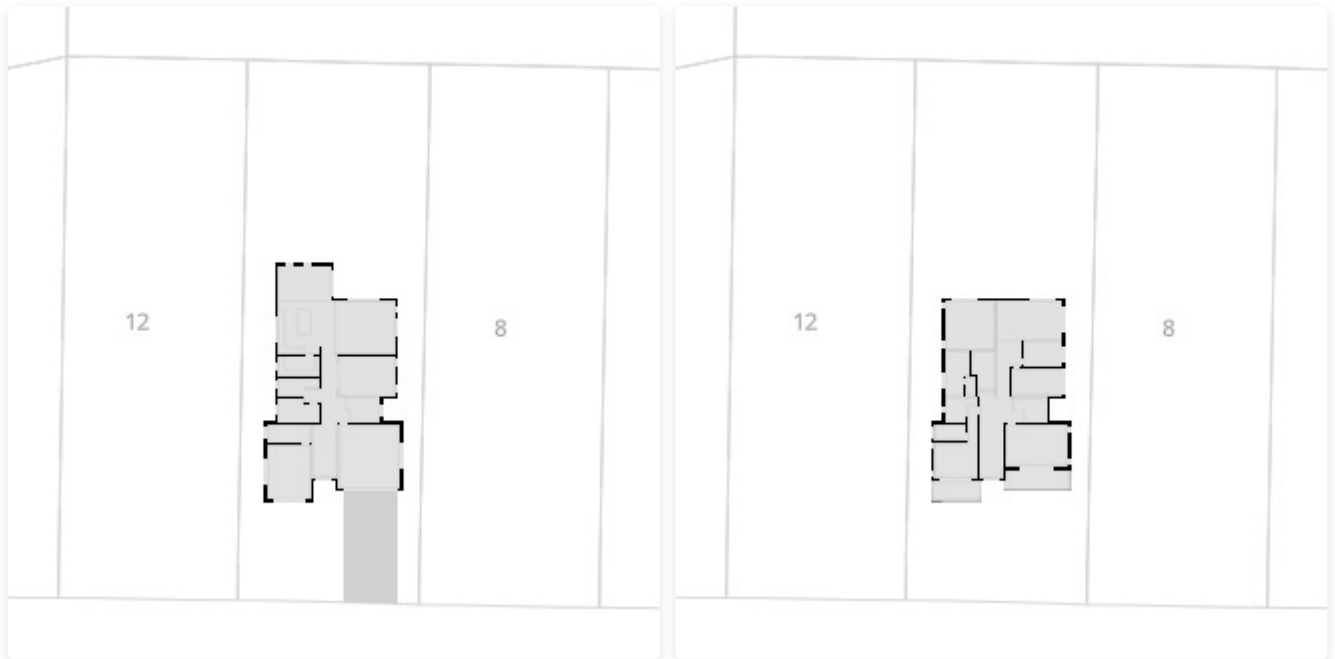


Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 11: 3.10: 5 Exceptions to side setbacks

b) the lot width measured at the building line is at least 6m, but not more than 8m, and
Refer to [this condition](#) in the Pre-DA Assist Report

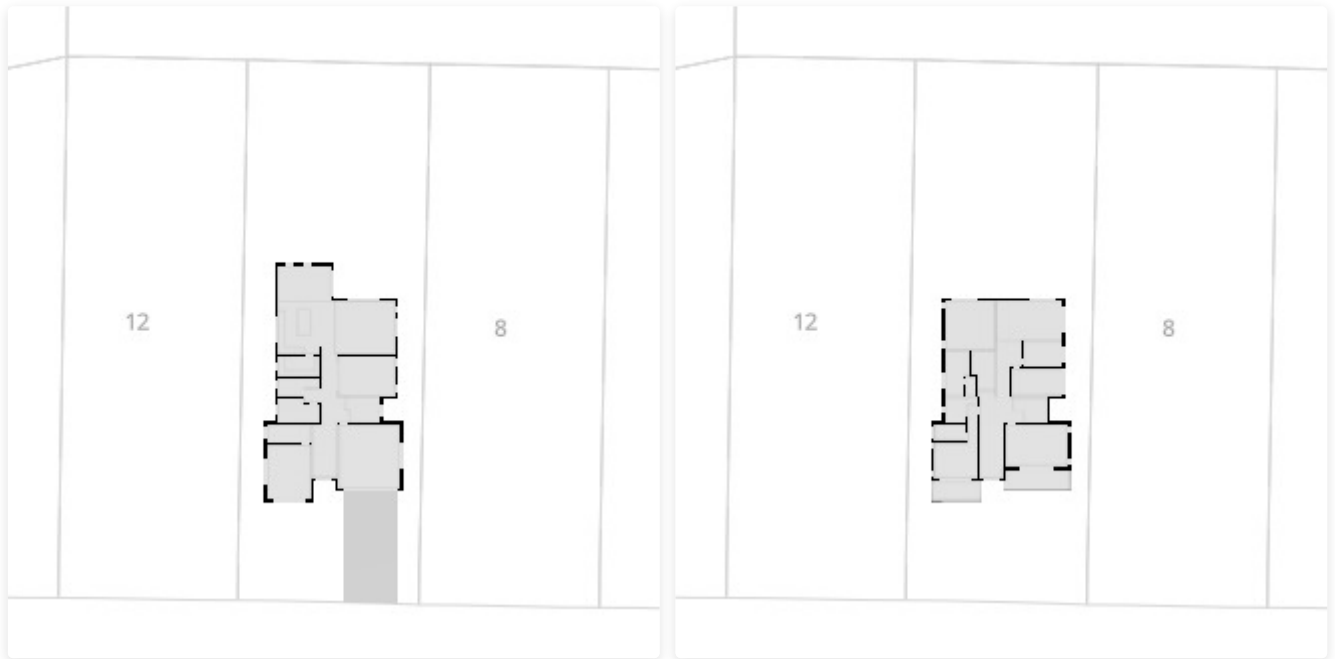


Ground floor

First Floor

Image 12: 3.10: 5 Exceptions to side setbacks

c) if there is a building wall on the adjoining lot within 900mm of that boundary—that wall is of masonry construction and does not have a window facing that boundary, and
Refer to [this condition](#) in the Pre-DA Assist Report



Ground floor

First Floor

Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 13: 3.10: 5 Exceptions to side setbacks

d) any wall erected within 900mm of a side boundary will not contain a door, window or any other opening.
Refer to [this condition](#) in the Pre-DA Assist Report

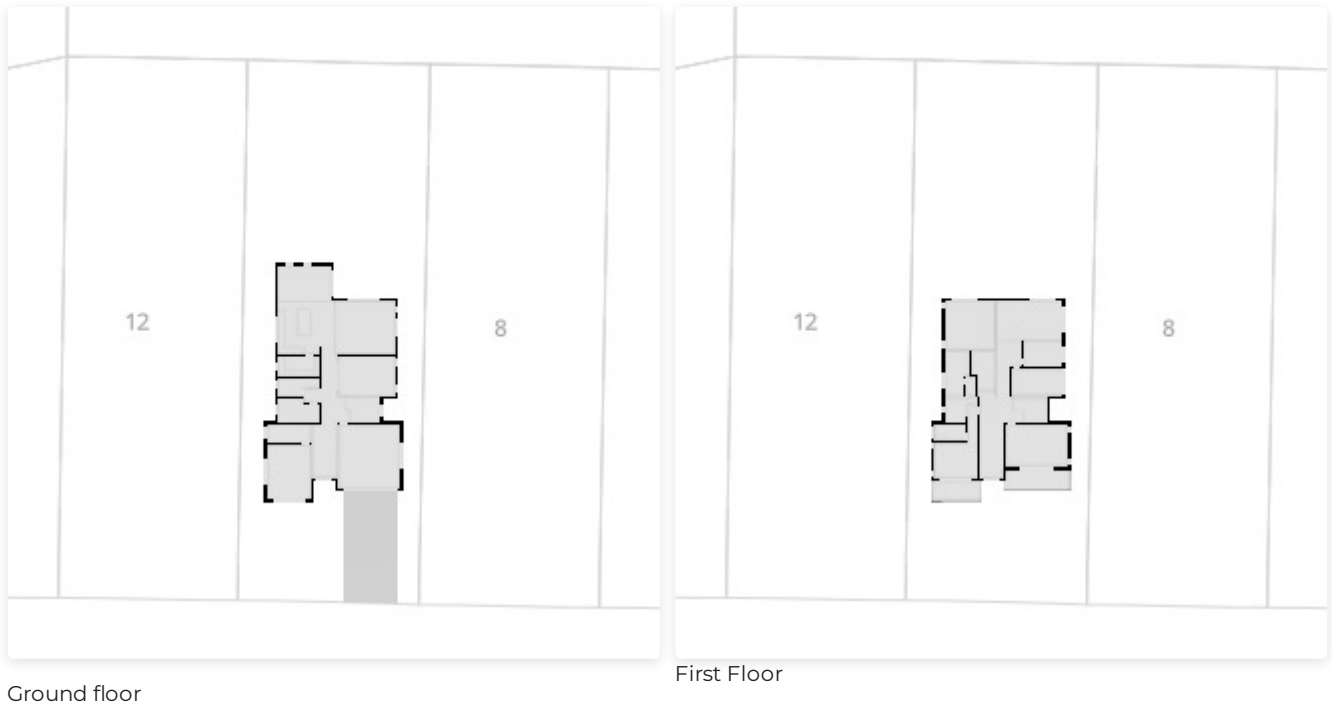
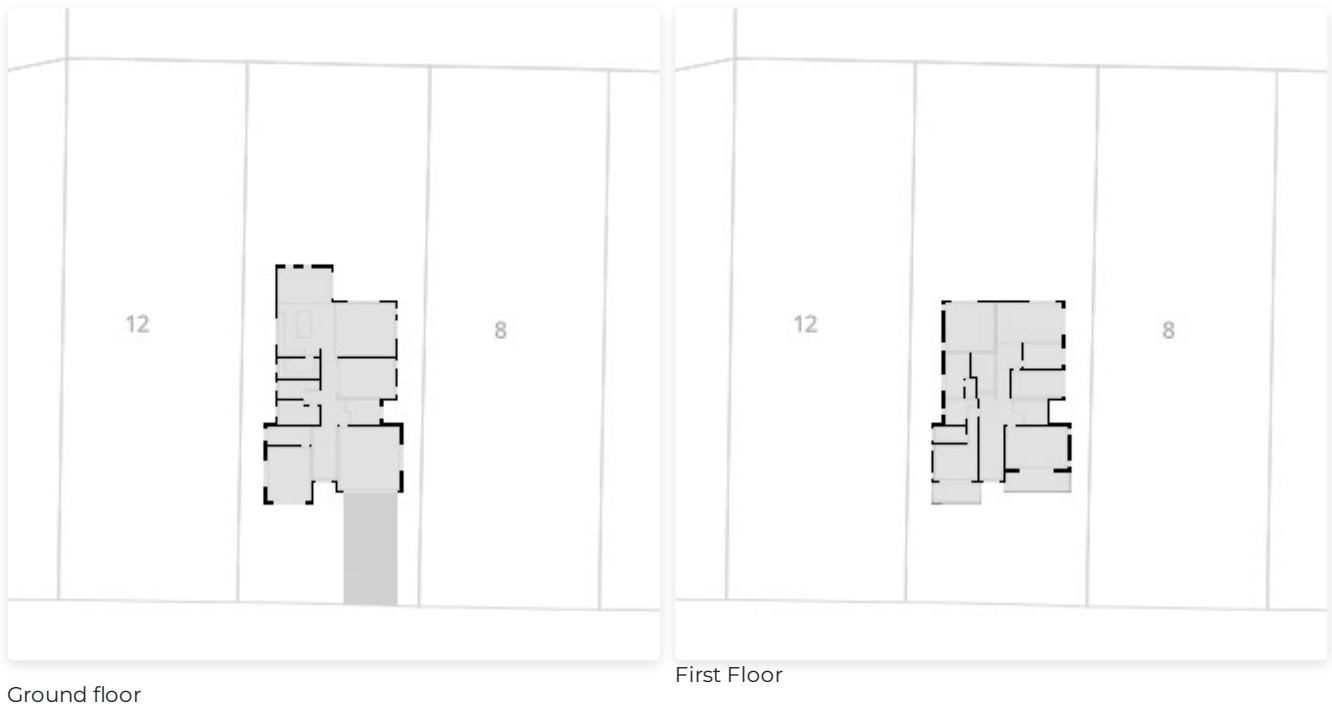


Image 14: 3.10: 6 Build to side boundary

A building may be built to 1 side boundary if:
a) the lot width measured at the building line is more than 8m, but not more than 12.5m, and
Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 15: 3.10: 6 Build to side boundary

b) any building wall on the adjoining lot within 900mm of that boundary is of masonry construction and does not have a window facing that boundary, and

Refer to [this condition](#) in the Pre-DA Assist Report

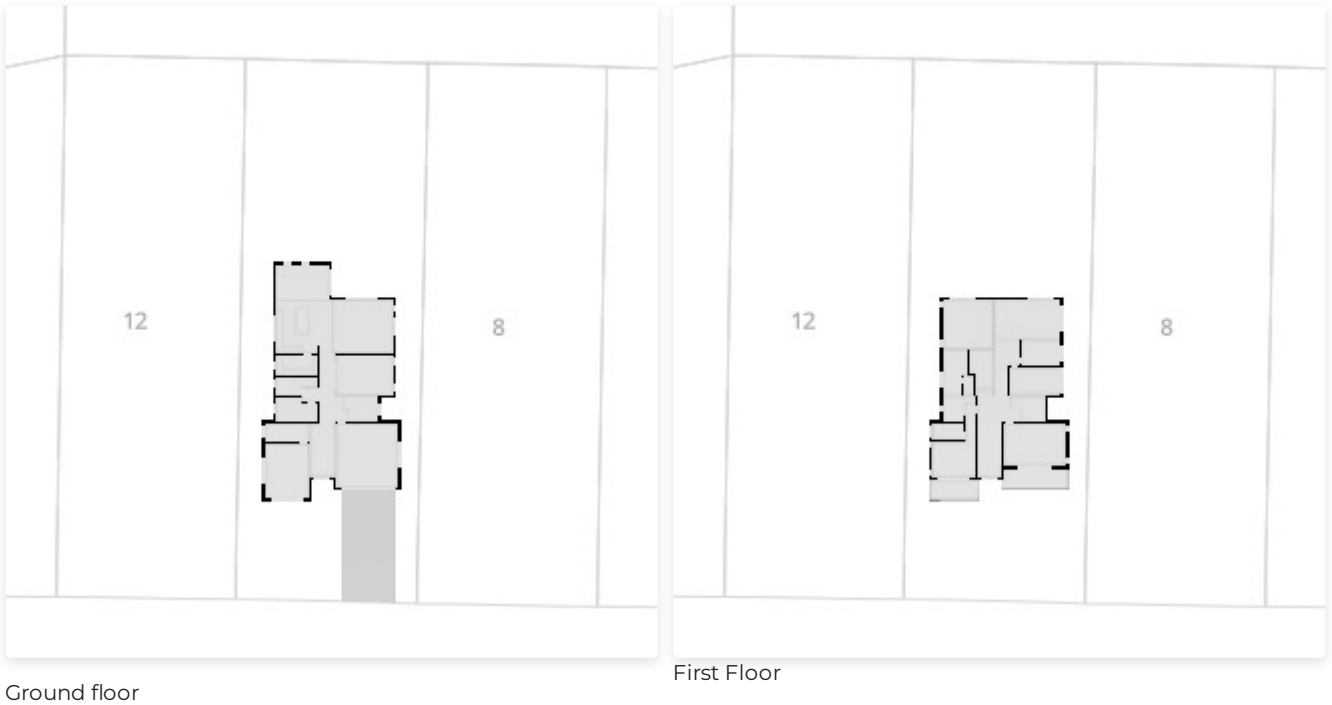
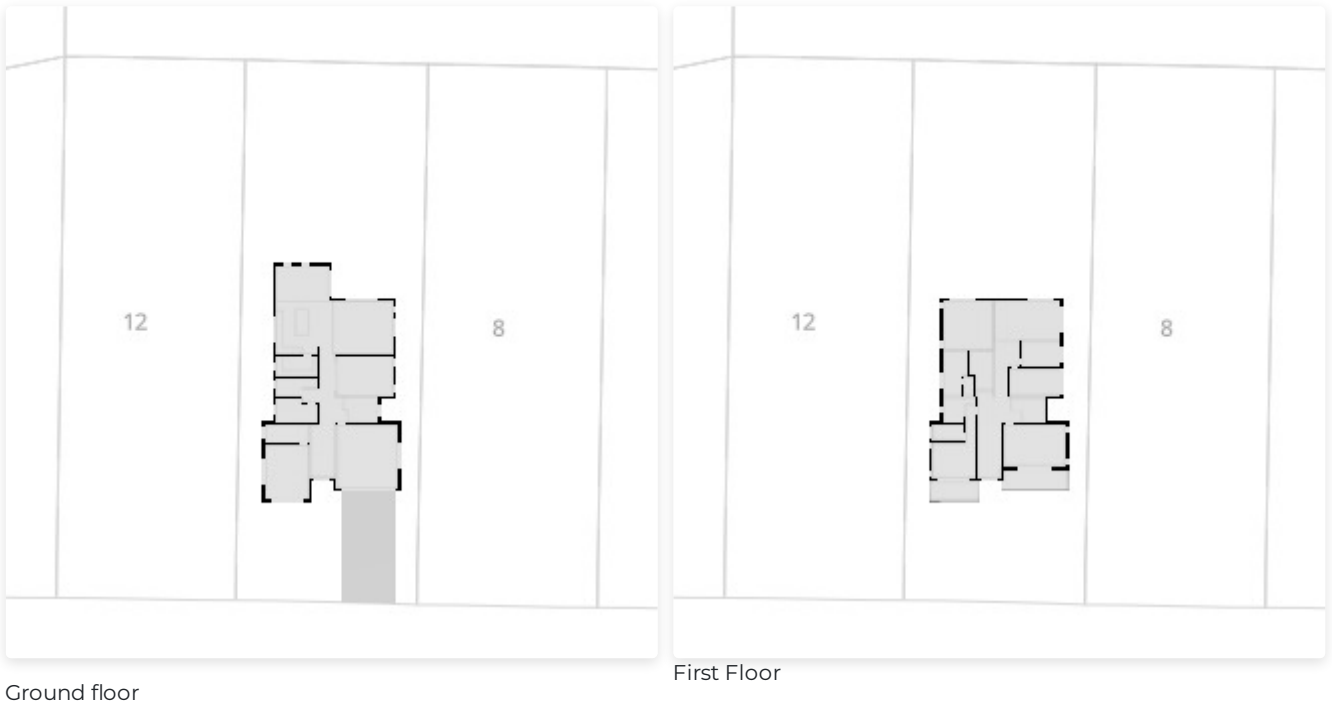


Image 16: 3.10: 6 Build to side boundary

c) any wall erected within 900mm of the side boundary will not contain a door, window or any other opening.

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 17: 3.10: 7 Maximum height of walls within 900mm of side boundary

The height of a wall erected within 900mm of a side boundary must not exceed:

a) 3.3m above ground level (existing), or

Refer to [this condition](#) in the Pre-DA Assist Report

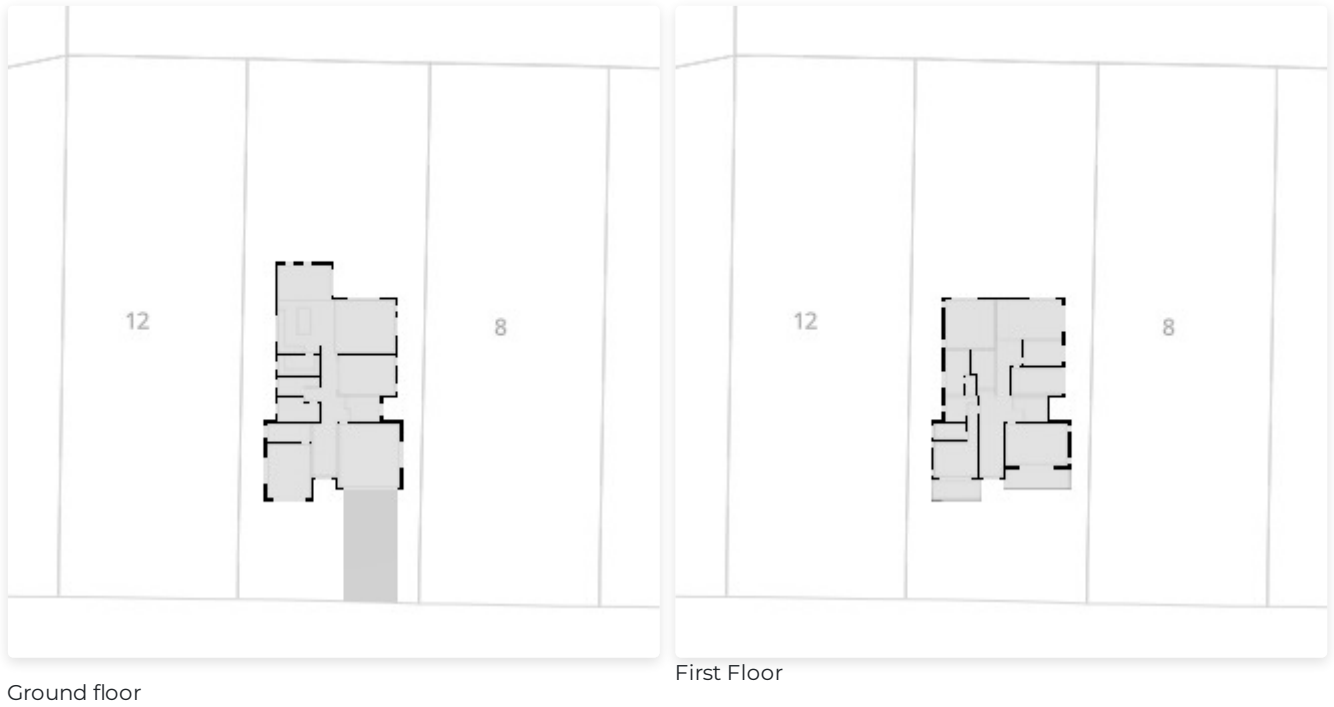


Image 18: 3.10: 7 Maximum height of walls within 900mm of side boundary

b) if there is a building wall on the adjoining lot within 900mm of that boundary that is higher than 3.3m—the height of that wall, but not more than 8.5m, or

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 19: 3.10: 7 Maximum height of walls within 900mm of side boundary

c) if the building on the adjoining lot is subject to the same complying development certificate under clause 126(4) of the Environmental Planning and Assessment Regulation 2000—the height of the wall on the adjoining lot, but not more than 8.5m. ⚠

Refer to [this condition](#) in the Pre-DA Assist Report

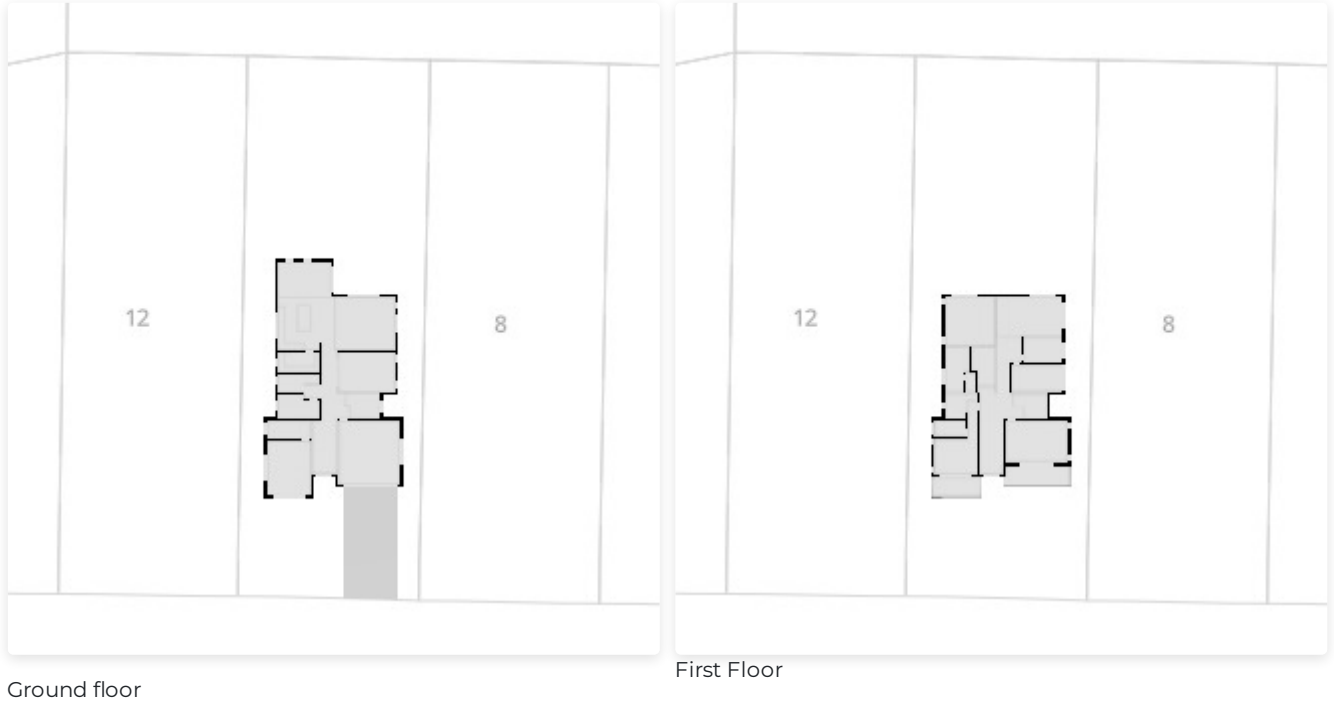
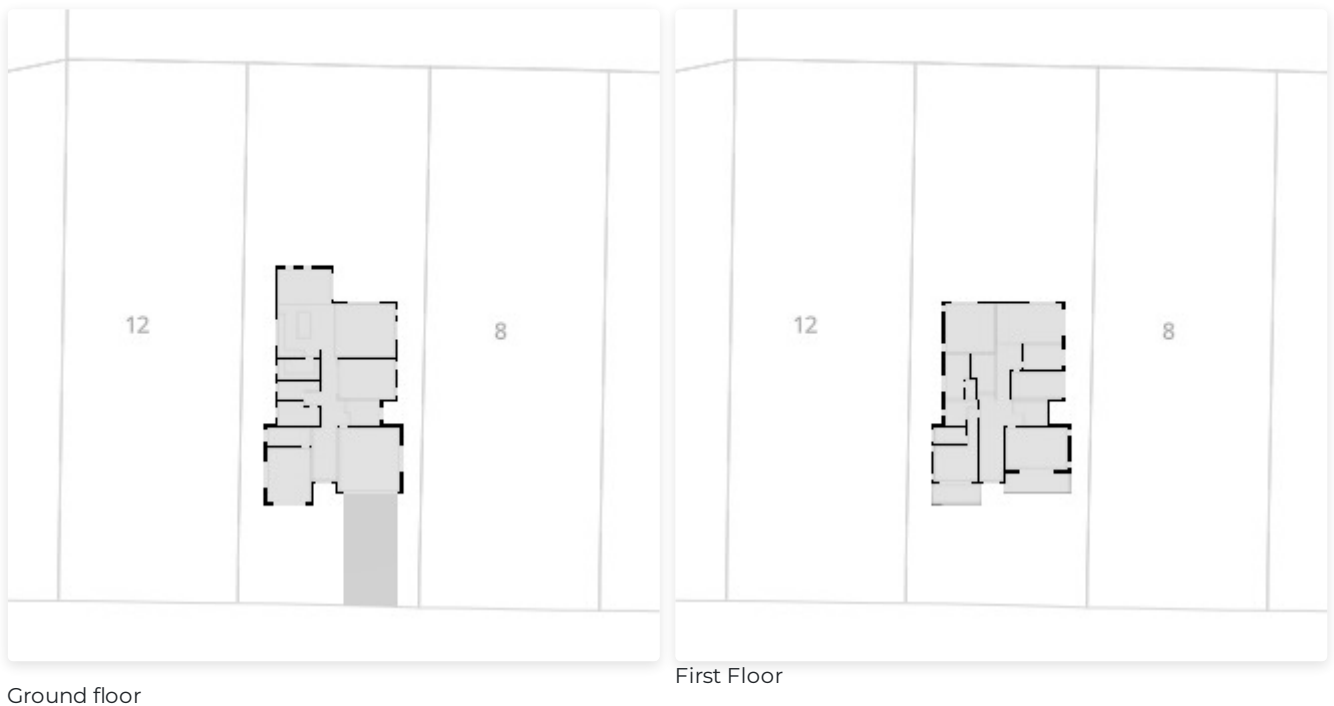


Image 20: 3.10: 8 Maximum length of walls within 900mm of side boundary

The length of all walls within 900mm of a side boundary must not exceed the length in the table provided

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 21: 3.10: 9 Maximum length subclause

Despite subclause (8), the maximum length of a wall erected within 900mm of a side boundary is
a) if there is a building wall on the adjoining lot within 900mm of that boundary that is longer than the maximum length ⚠
is the length of that wall

Refer to [this condition](#) in the Pre-DA Assist Report

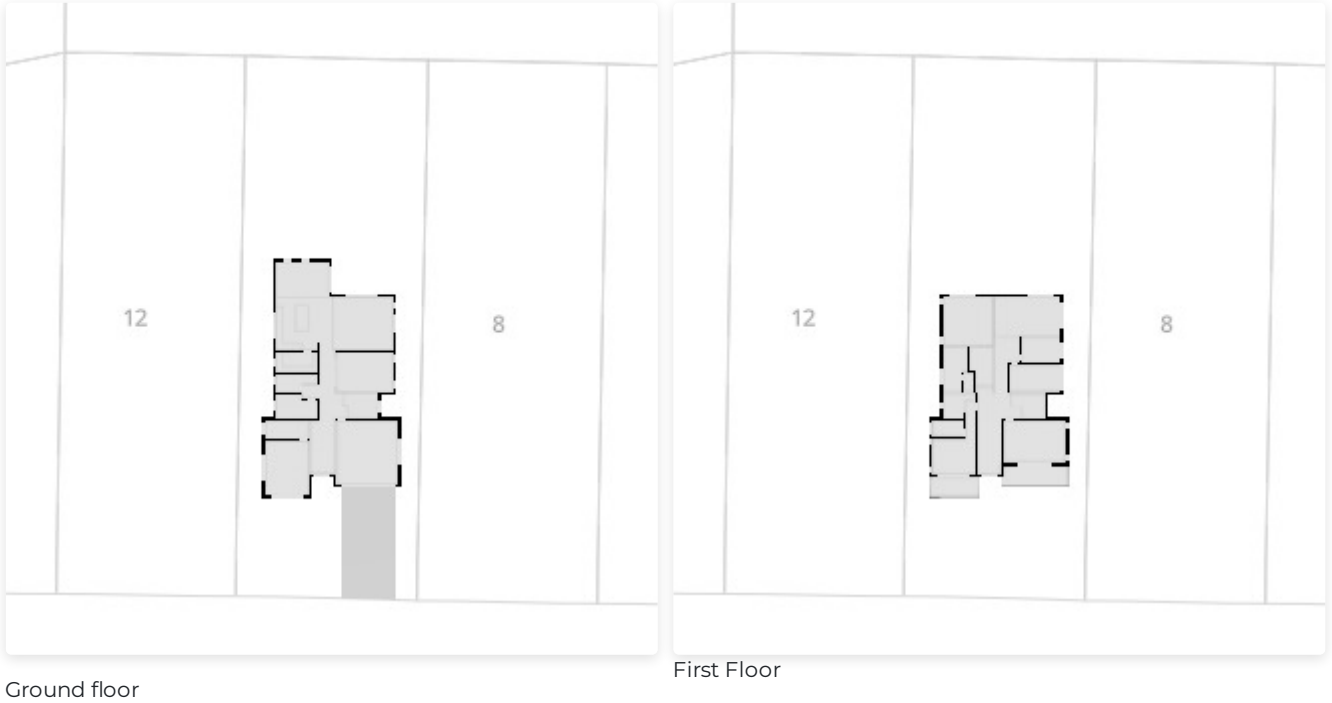
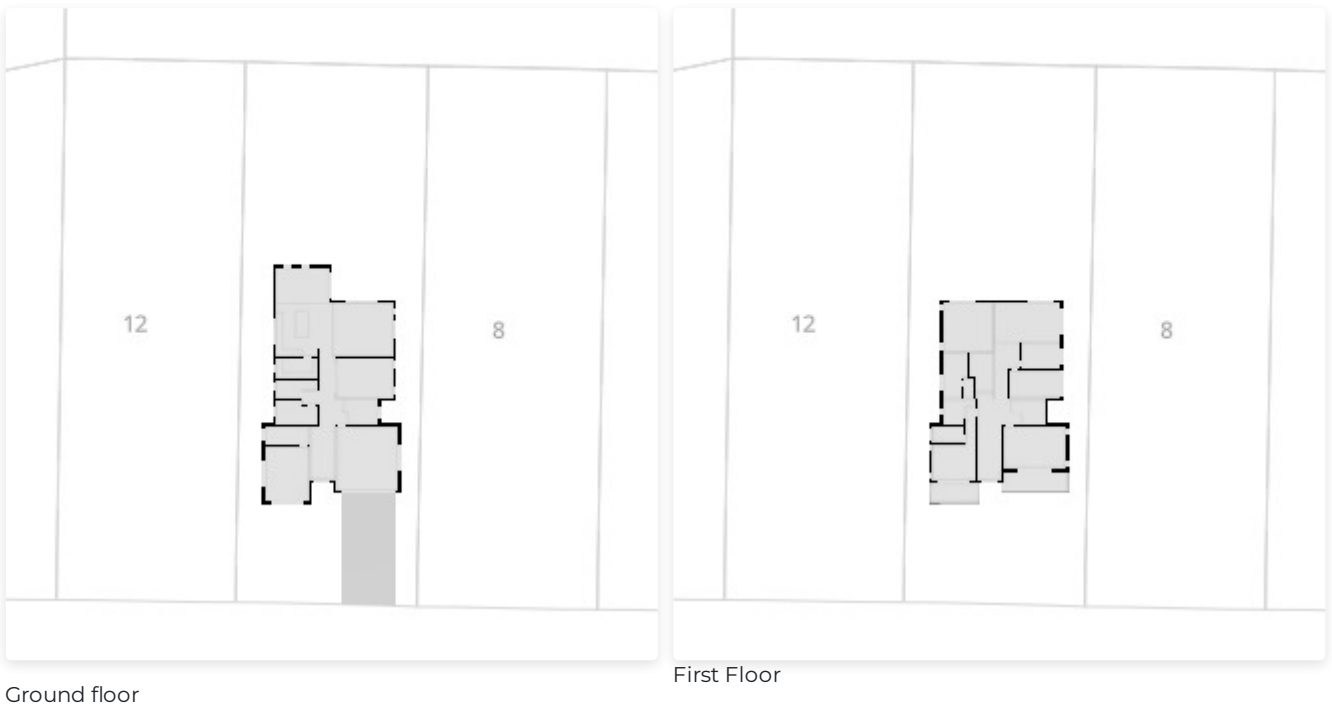


Image 22: 3.10: 9 Maximum length subclause

b) if the building on the adjoining lot is subject to the same complying development certificate under clause 126(4) of the Environmental Planning and Assessment Regulation 2000—the length of the wall on the adjoining lot. ⚠

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 23: 3.10: 10 Rear setbacks

The following buildings on a lot must have a minimum setback from the rear boundary listed in the table provided: ✔

a) a dwelling house,

Refer to [this condition](#) in the Pre-DA Assist Report



Image 24: 3.10: 10 Rear setbacks

The following buildings on a lot must have a minimum setback from the rear boundary listed in the table provided: ✔

b) a carport or garage,

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 25: 3.10: 10 Rear setbacks

The following buildings on a lot must have a minimum setback from the rear boundary listed in the table provided: ✔
c) a balcony, deck, patio, pergola, terrace or verandah,
Refer to [this condition](#) in the Pre-DA Assist Report



Image 26: 3.10: 10 Rear setbacks

The following buildings on a lot must have a minimum setback from the rear boundary listed in the table provided: ⚪
d) a cabana, cubby house, garden shed, gazebo, fernery, greenhouse or shed.
Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 27: 3.10: 11 Secondary road setbacks for corner lots

A dwelling house must have a minimum setback from a boundary with a secondary road with accordance to the table provided



Refer to [this condition](#) in the Pre-DA Assist Report

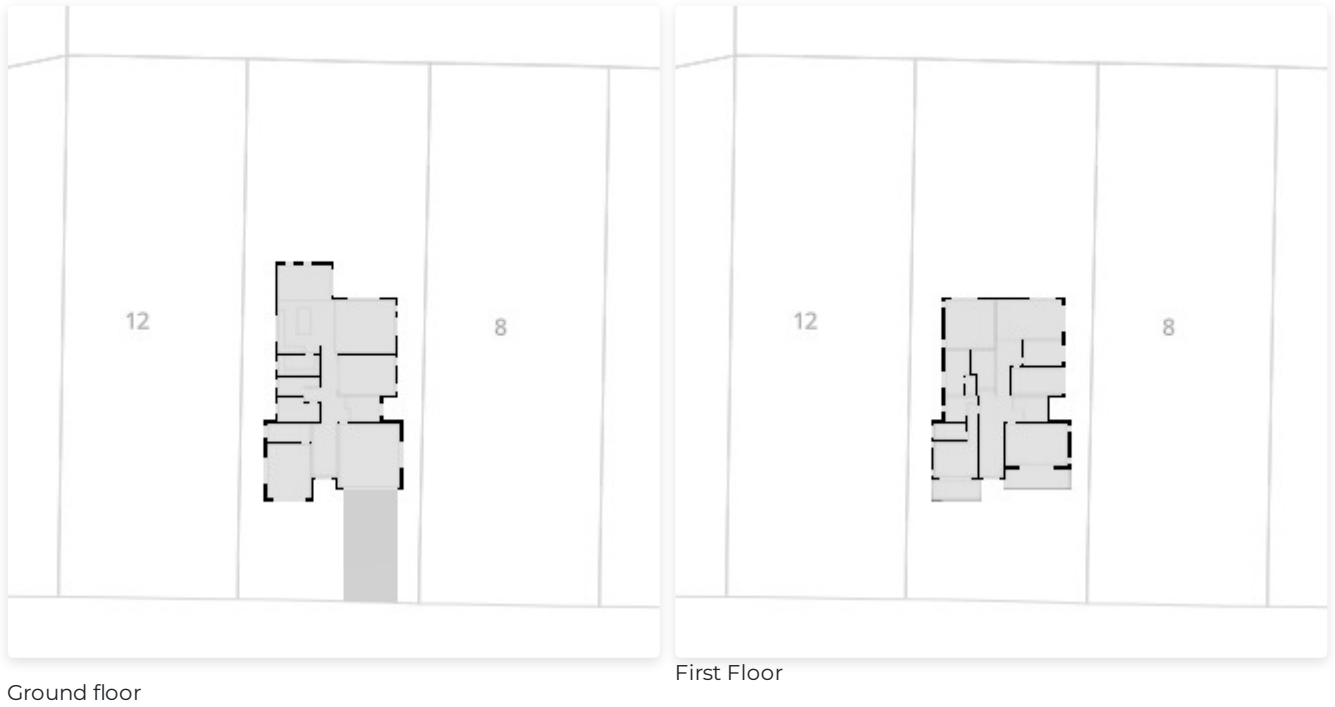
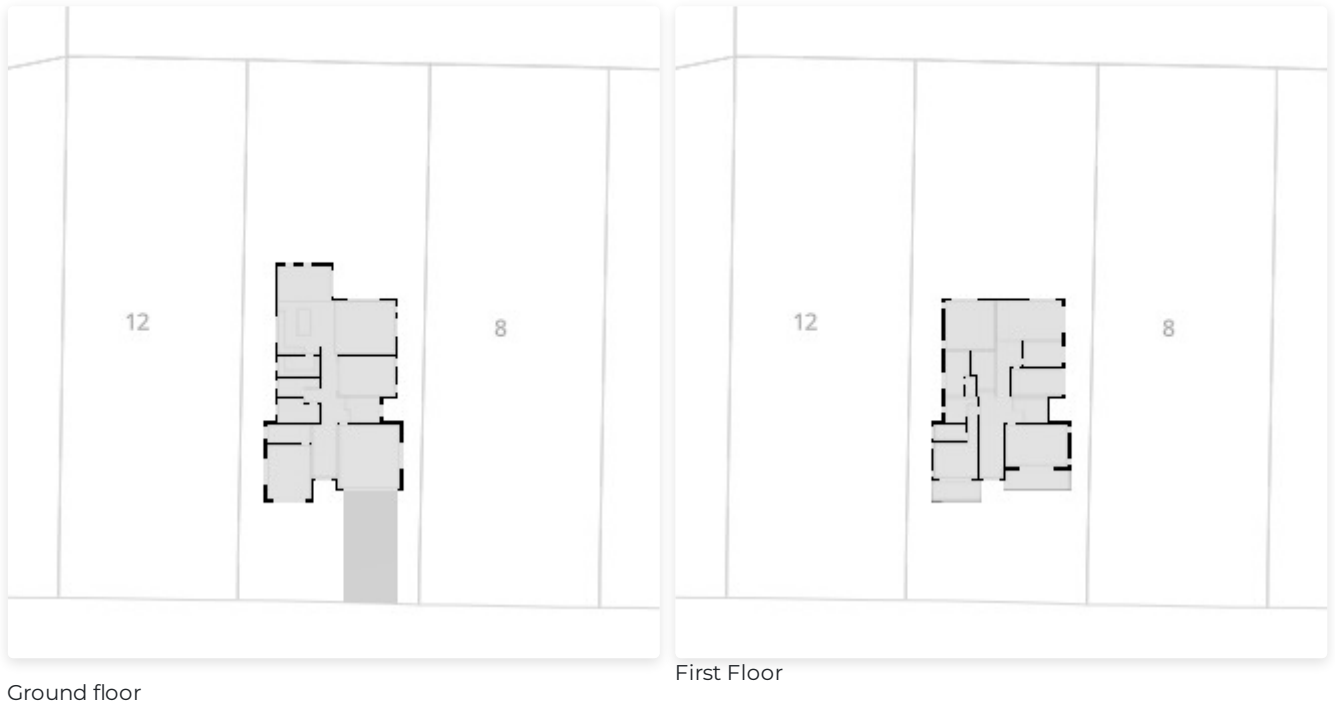


Image 28: 3.10: 12 Parallel road setbacks for parallel road lots

A dwelling house must have a setback from a boundary with a parallel road of at least 3m.



Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 29: 3.10: 13 Classified road setbacks

A dwelling house and any attached development must have a setback from a boundary with a classified road of at least:
a) the setback for a dwelling house from a classified road specified by another environmental planning instrument applying to the land, or

Refer to [this condition](#) in the Pre-DA Assist Report

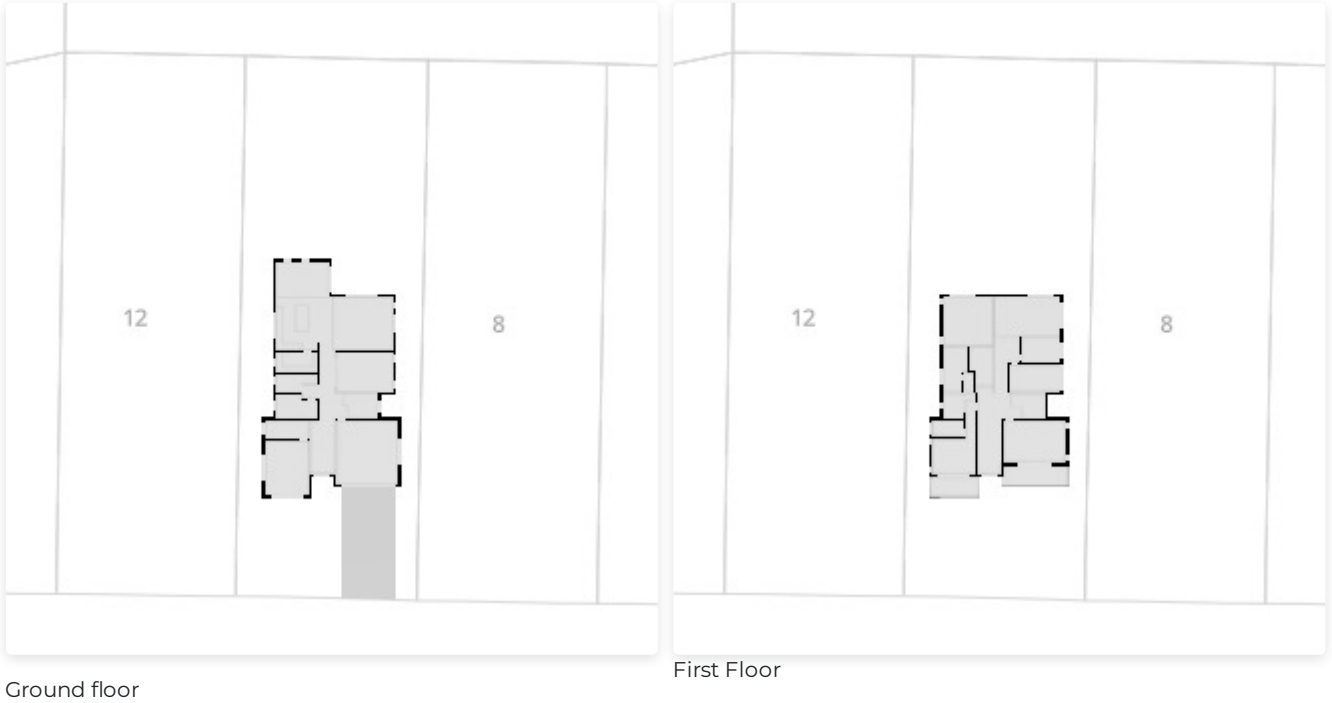


Image 30: 3.10: 13 Classified road setbacks

b) if no setback is specified—9m.

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 31: 3.10: 14 Public reserve setbacks

A dwelling house and any cabana, cubby house, garden shed, gazebo, fernery, greenhouse, shed or detached studio must have a setback from a boundary with a public reserve of at least 3m. ⚪

Refer to [this condition](#) in the Pre-DA Assist Report

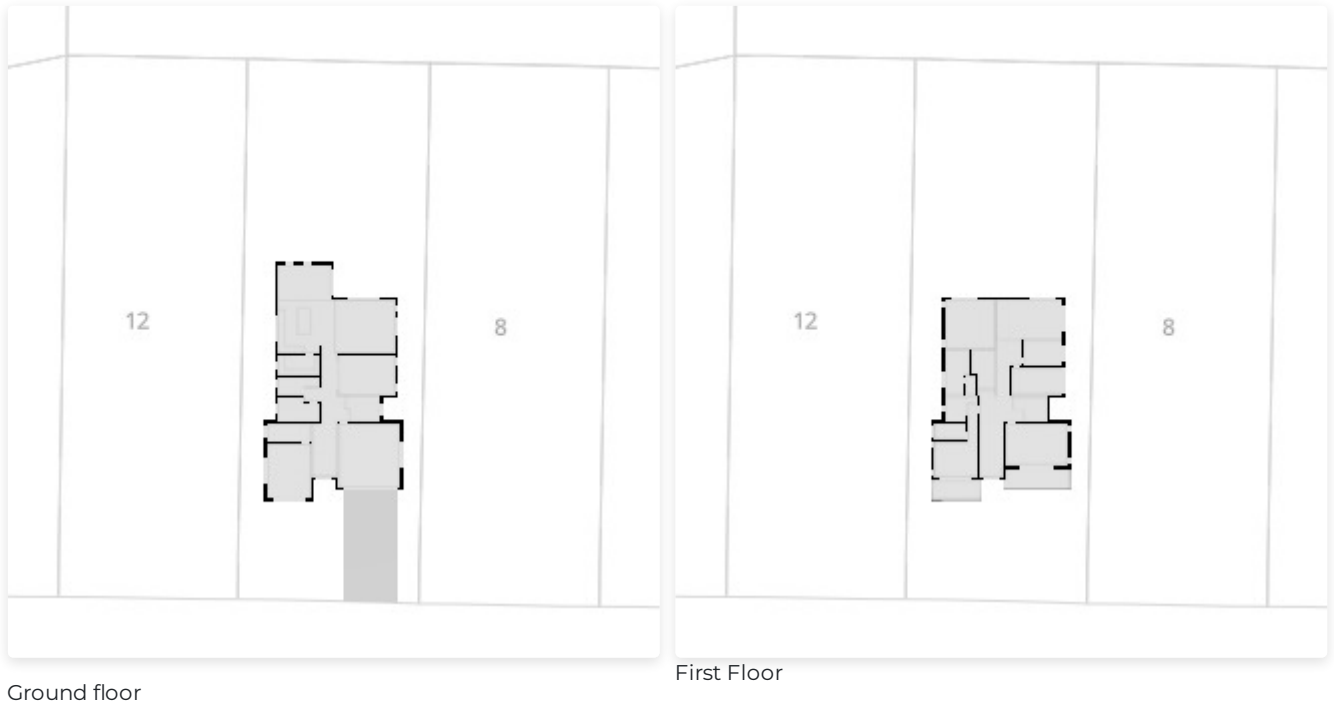
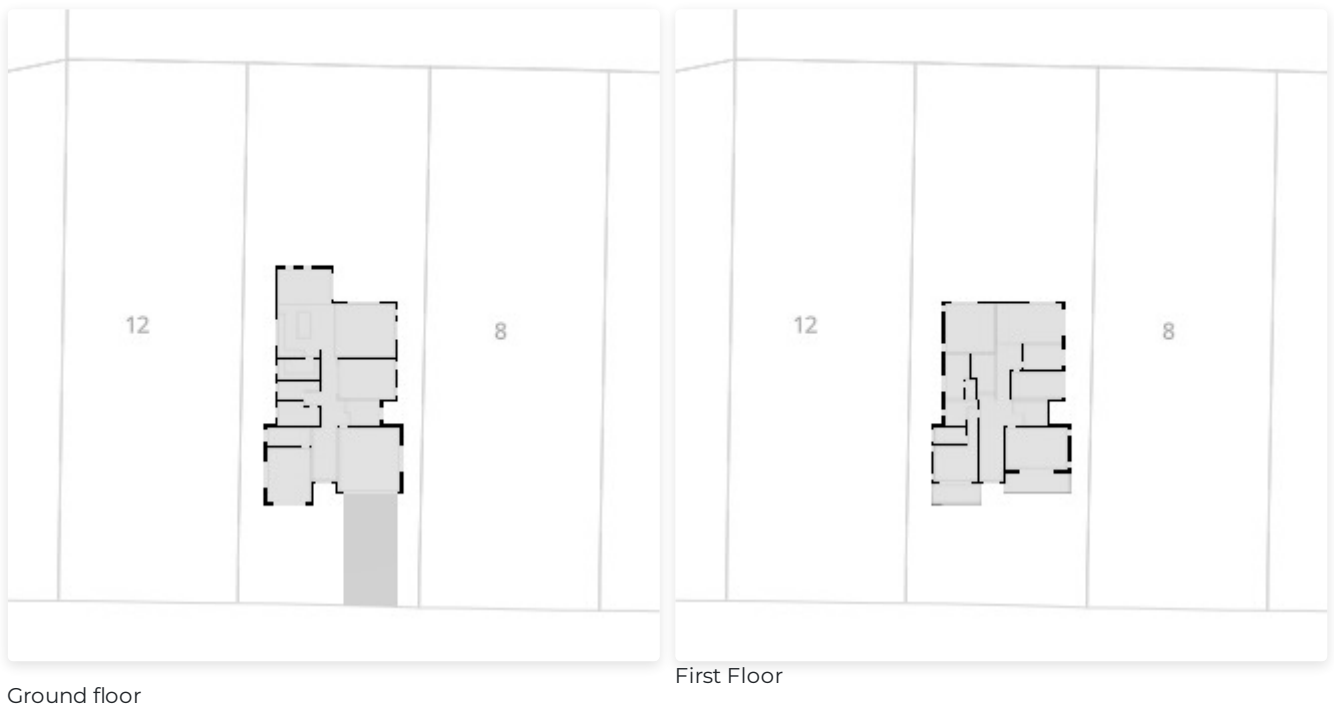


Image 32: 3.10: 15 Front setbacks for battle-axe lots

A dwelling house on a battle-axe lot must have a setback from the rear boundary of the lot that is in front of the battle-axe lot of at least 3m. ⚪

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 33: 3.11: 1 Development to which side and rear setbacks do not apply

The setback standards specified in clause 3.10(4) and (10) do not apply to the following

- a) downpipes,
- b) driveways,
- c) electricity or gas meters,
- d) fascias,
- e) gutters,
- f) light fittings,
- g) pathways and paving.



Refer to [this condition](#) in the Pre-DA Assist Report

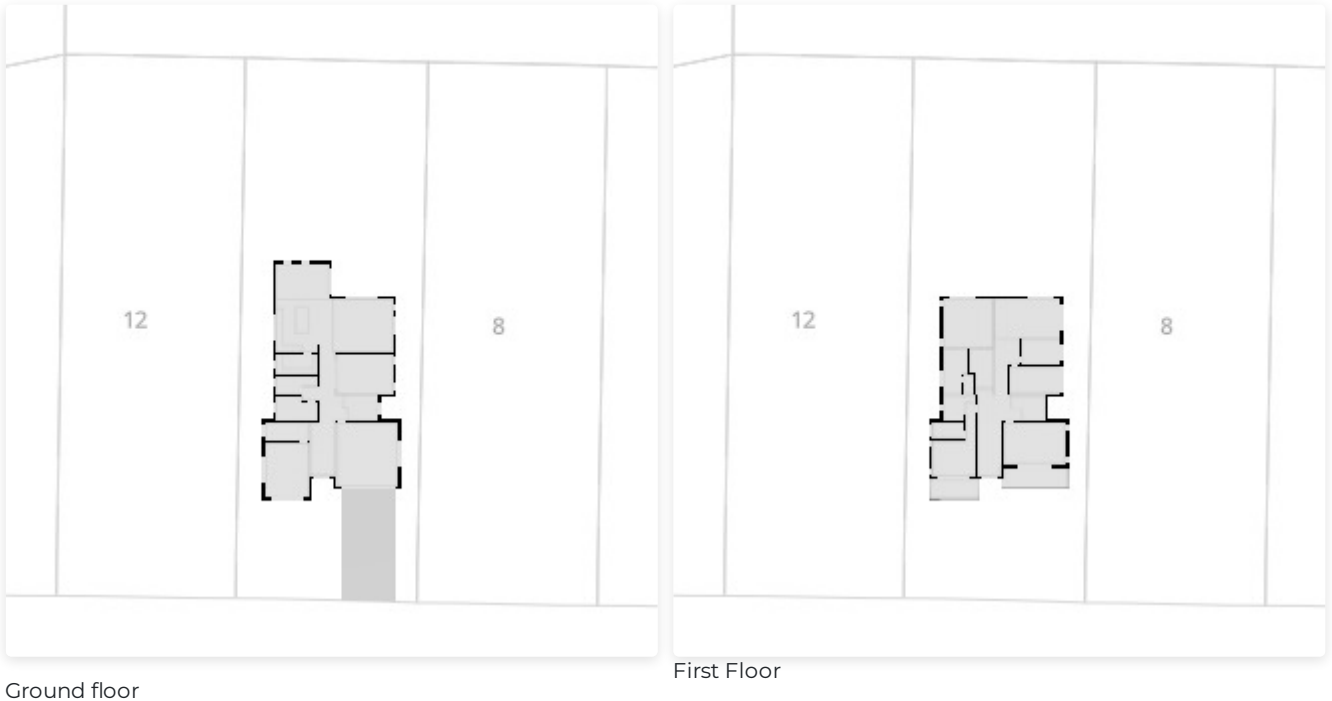


Image 34: 3.11: 2 Development to which side and rear setbacks do not apply if 450mm from boundary

Development to which side and rear setbacks do not apply if 450mm from boundary, The setback standards specified in clause 3.10(4) and (10) do not apply to the following if they are at least 450mm from the relevant boundary:

- a) aerials,
- b) antennae,
- c) awnings,
- d) chimneys,
- e) cooling or heating appliances,
- f) eaves,
- g) flues,
- h) pipes,
- i) privacy screens,
- j) rainwater tanks not more than 1.8m in height,
- (k) structures associated with the provision of a utility service.



Refer to [this condition](#) in the Pre-DA Assist Report

Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 35: 3.11: 3 Road setbacks do not apply to eaves within 1m

Road setbacks do not apply to eaves within 1m The setback standards specified in clause 3.10(1), (3), (11), (12) and (13) do not apply to eaves if they are within 1m of the dwelling house. ✔

Refer to [this condition](#) in the Pre-DA Assist Report



Image 36: 3.11: 4 Development to which road setbacks do not apply

Development to which road setbacks do not apply The setback standards specified in clause 3.10(1), (3), (11), (12) and (13) do not apply to the following:

- a) driveways,
- b) pathways and paving,
- c) retaining walls,
- d) any building elements that are permitted within a primary or secondary articulation zone.

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 37: 3.11: 5 Lots with rear lanes

Lots with rear lanes Despite clause 3.10(10), if the lot has a rear boundary with a lane, the building may be erected within 900mm of, or abut, the rear boundary for a maximum of 50% of the length of that boundary. ⚪

Refer to [this condition](#) in the Pre-DA Assist Report

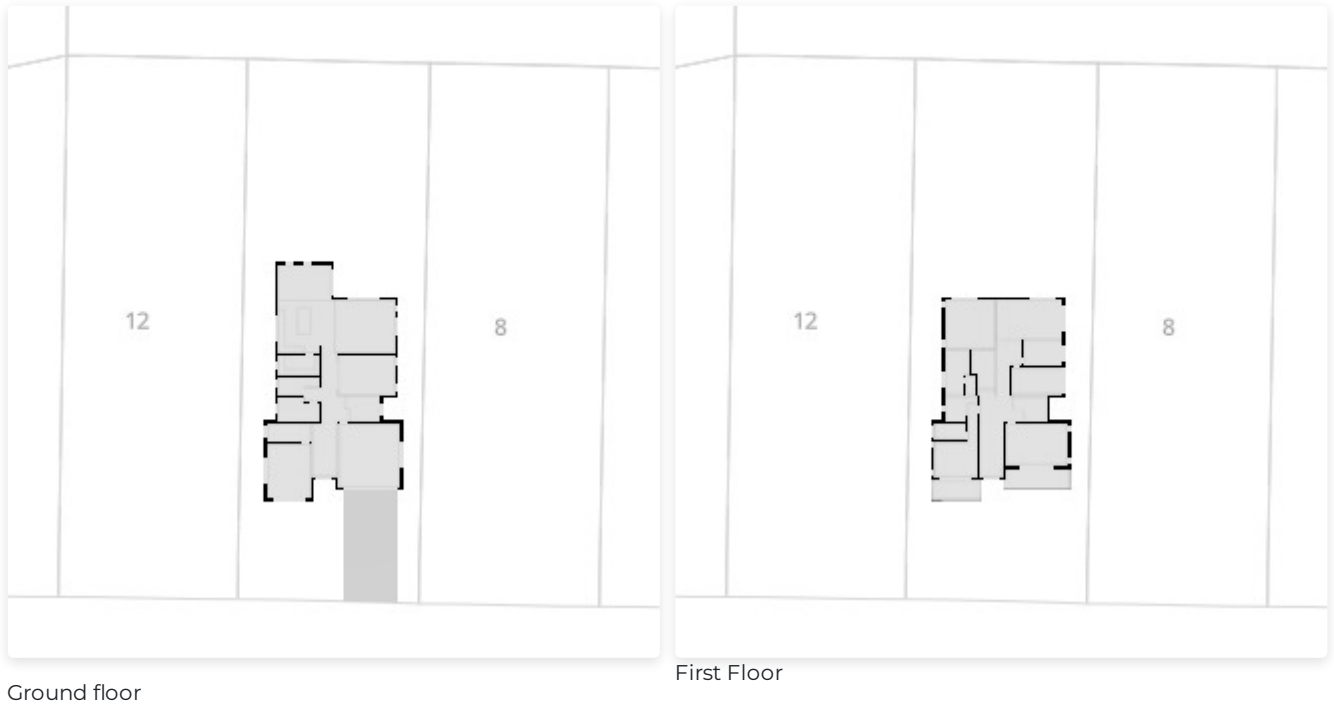
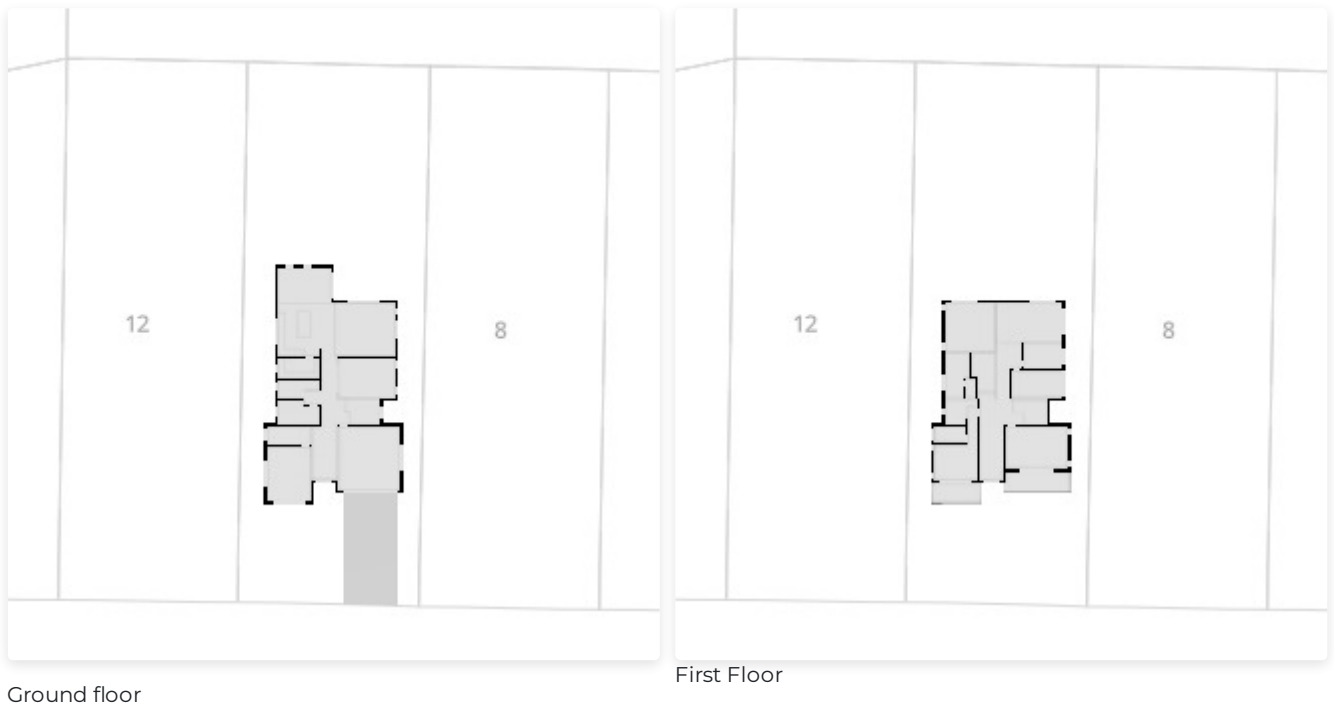


Image 38: 3.11: 6 Certain attached development may be built within parallel road setback

Certain attached development may be built within parallel road setback Despite clause 3.10(12), a cabana, cubby house, fernery, garden shed, gazebo, greenhouse or shed may be built within 3m of, or abut, a parallel road boundary for a maximum of 50% of the length of that boundary if the parallel road is not a classified road. ⚪

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 39: 3.11: 7 Setbacks do not apply to existing parts of dwelling house or attached development

Setbacks do not apply to existing parts of dwelling house or attached development The setback standards specified in clause 3.10 do not apply to any existing parts of a dwelling house or attached development that will remain on the lot after the complying development is carried out.

Refer to [this condition](#) in the Pre-DA Assist Report



Image 40: 3.12: 1 Building a balcony, deck patio, terrace and verandahs

The erection of a balcony, deck, patio, terrace or verandah that is attached to the side or rear elevation of a dwelling house is only permitted on a lot if:

a) the area of the lot is more than 300m², and

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 41: 3.12: 1 Building a balcony, deck patio, terrace and verandahs



b) the width of the lot, measured at the building line, is more than 10m.

Refer to [this condition](#) in the Pre-DA Assist Report

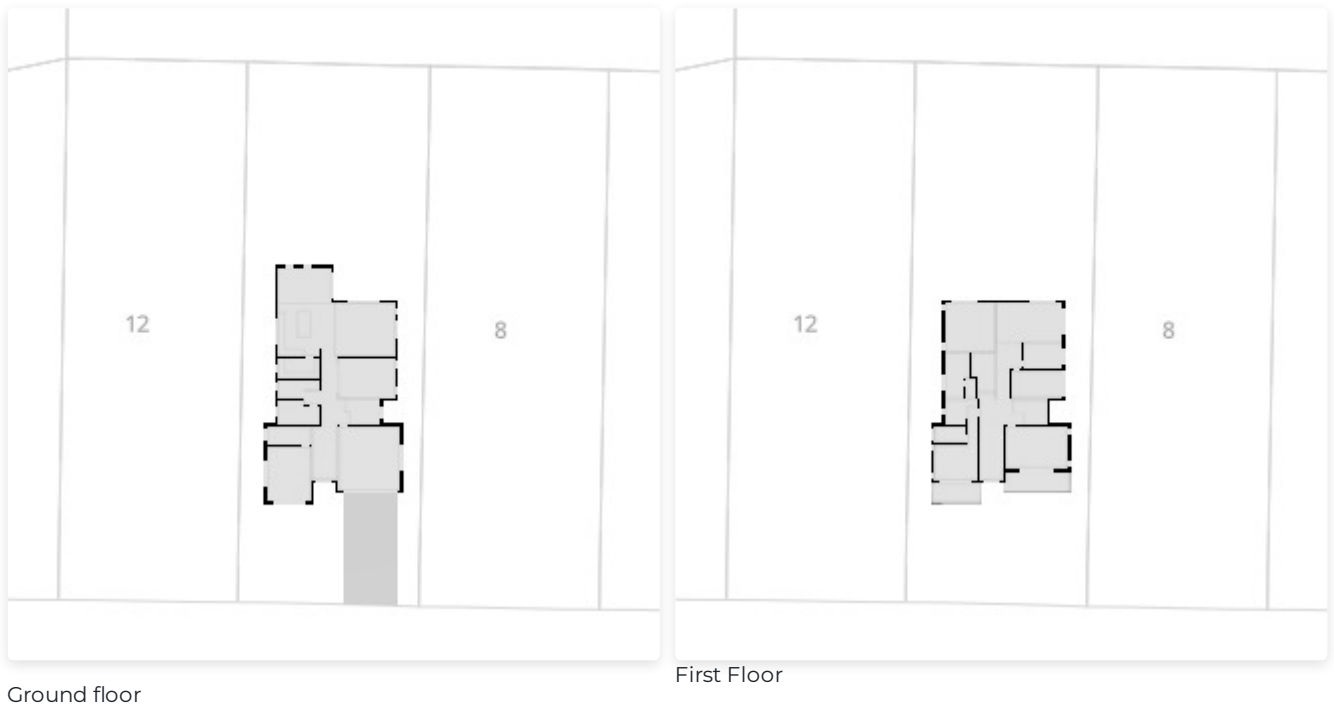


Image 42: 3.12: 2 Maximum height of floor level

The maximum height of the floor level of the balcony, deck, patio, terrace or verandah is the height shown in the table provided



Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 43: 3.12: 3 Total floor area

The total floor area of all attached side or rear balconies, decks, patios, terraces and verandahs that, after the completion of the development: ✔

a) are within 6m from a side or rear boundary, and

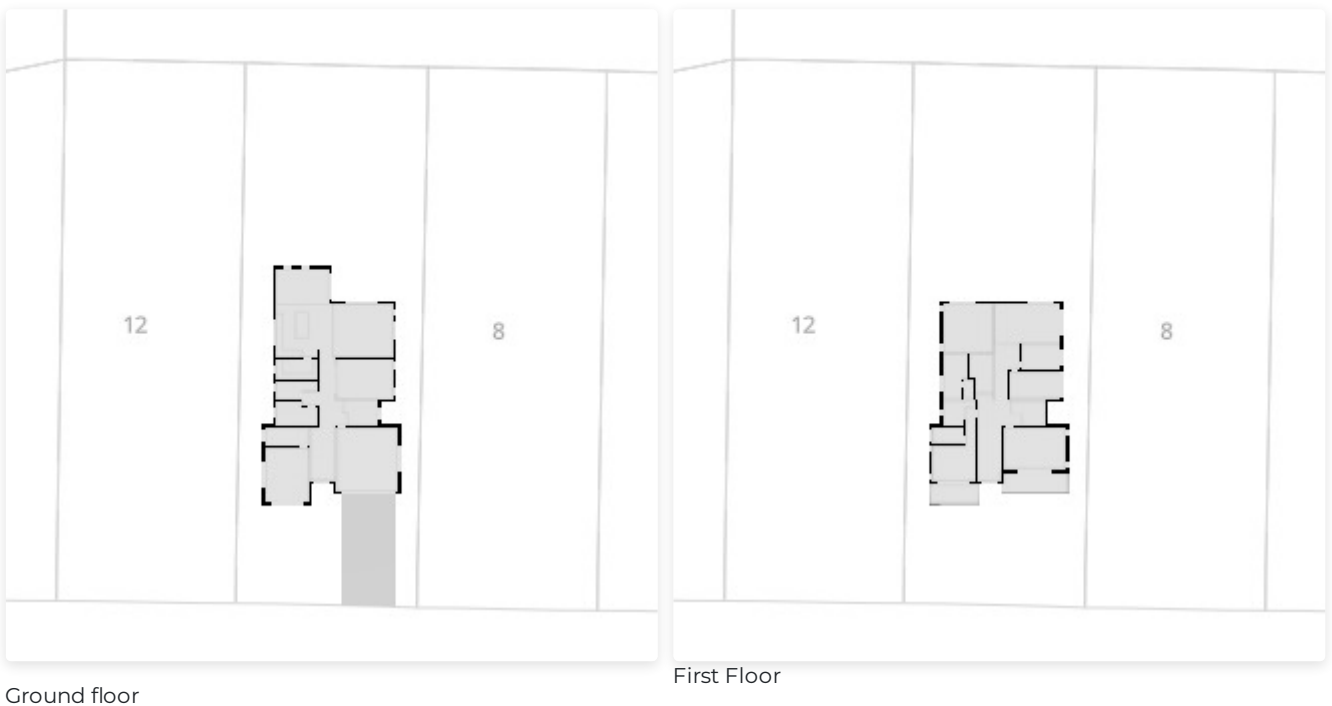
Refer to [this condition](#) in the Pre-DA Assist Report



Image 44: 3.12: 3 Total floor area

b) have a finished floor level of more than 2m above ground level (existing), must not be more than 12m2. ⚠

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚠ Error

Image 45: 3.13: 1 Minimum landscaped area

✔

The minimum landscaped area that must be provided on a lot is shown in the table provided
Refer to [this condition](#) in the Pre-DA Assist Report



Image 46: 3.13: 2 Minimum width and length

✔

Each landscaped area must have a minimum width and length of 1.5m
Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 47: 3.13: 3 Minimum landscaped area - subclause

The minimum landscaped area calculated in accordance with subclause (1) must be provided as follows
a) if the lot width measured at the building line is 18m or less—25% of the area forward of the building line must be landscaped,



Refer to [this condition](#) in the Pre-DA Assist Report

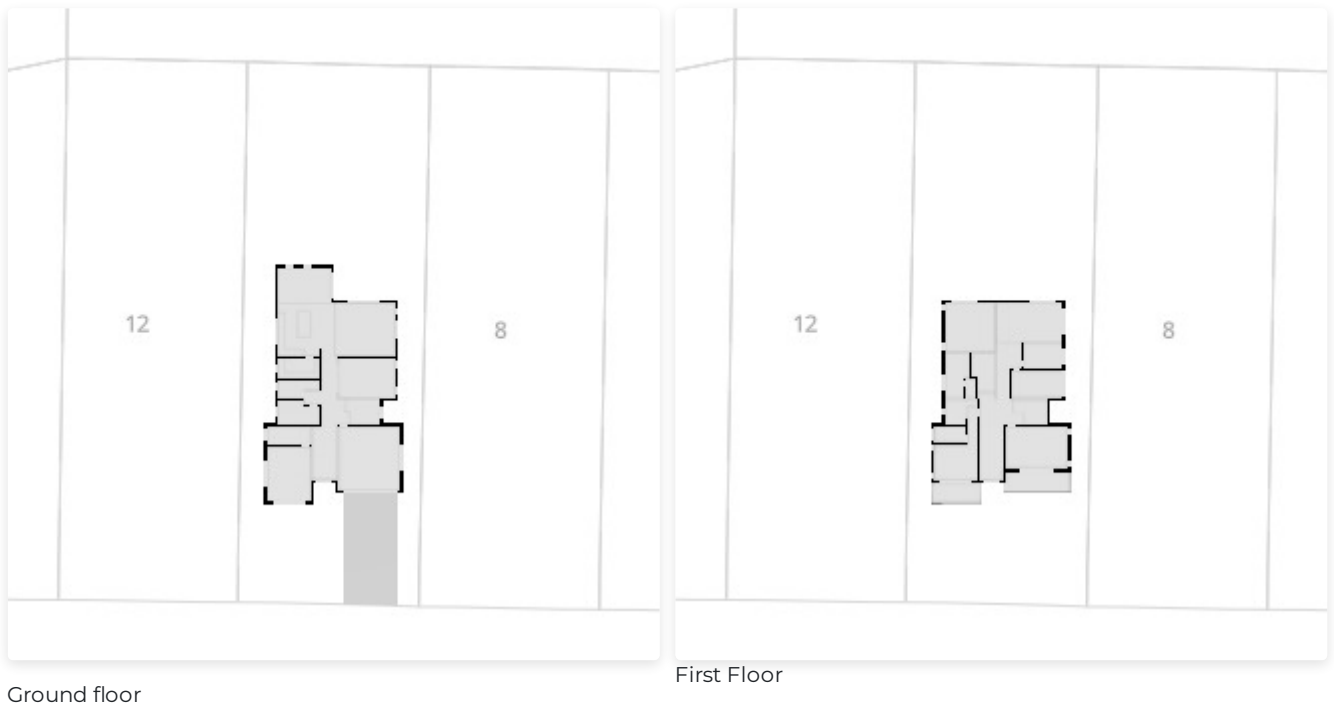


Image 48: 3.13: 3 Minimum landscaped area - subclause

b) if the lot width measured at the building line is more than 18m—50% of the area forward of the building line must be landscaped,



Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 49: 3.13: 3 Minimum landscaped area - subclause



c) 50% of the minimum landscaped area must be located behind the building line.
Refer to [this condition](#) in the Pre-DA Assist Report



Image 50: 3.13: 4 Minimum area - private open space



The minimum area of principal private open space that must be provided on a lot is shown in the table provided
Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

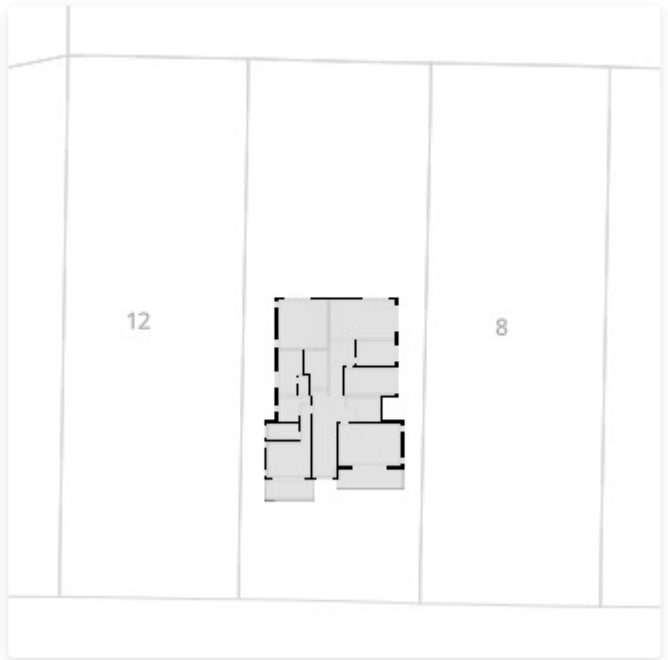
✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 51: 3.13: 4a Private Open Space

The principal private open space must:
a) be at least 3m wide and 3m long, and
Refer to [this condition](#) in the Pre-DA Assist Report



Ground floor



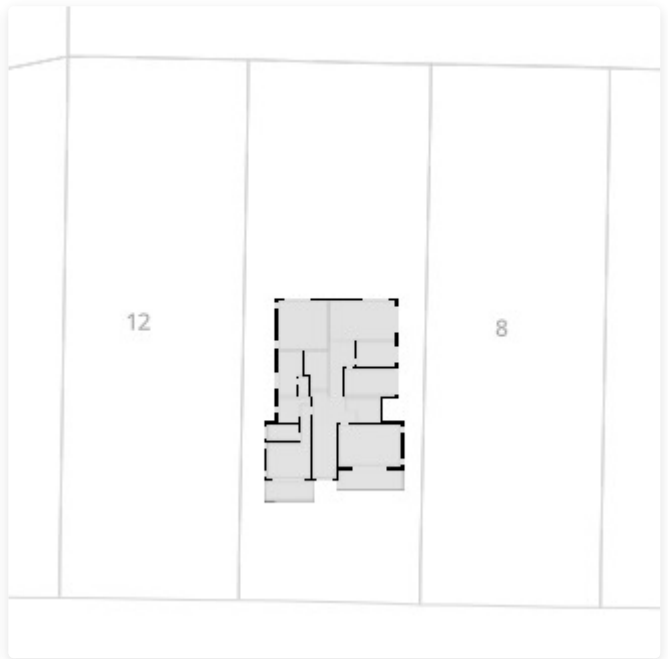
First Floor

Image 52: 3.13: 4a Private Open Space

b) not be steeper than 1:50 gradient.
Refer to [this condition](#) in the Pre-DA Assist Report



Ground floor



First Floor

Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 53: 3.13: 5 Non applicable developments

This clause does not apply to complying development that is the alteration of, or an addition to, a dwelling house or attached development if the development does not



a) increase the footprint of the dwelling house or attached development, or

Refer to [this condition](#) in the Pre-DA Assist Report

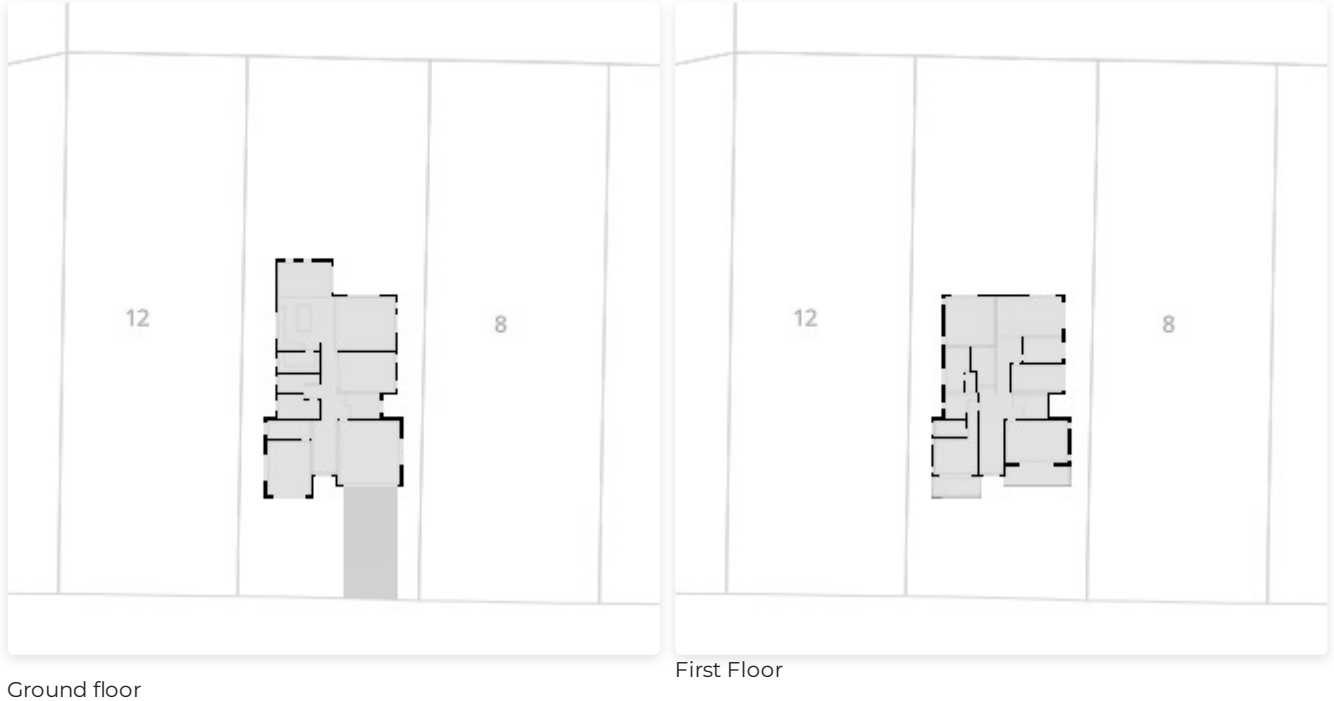


Image 54: 3.13: 5 Non applicable developments



b) decrease the landscaped area on the lot.

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 55: 3.14: 1 Applicability

This clause applies to the following development on a lot other than a battle-axe lot:

a) the erection of a new dwelling house,

Refer to [this condition](#) in the Pre-DA Assist Report



Image 56: 3.14: 1 Applicability

b) alterations and additions to the front of an existing dwelling house.

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 57: 3.14: 2 Required elements

The dwelling house must contain the following building elements

- a) at least 1 door and 1 window to a habitable room at ground floor level facing the primary road, or Refer to [this condition](#) in the Pre-DA Assist Report

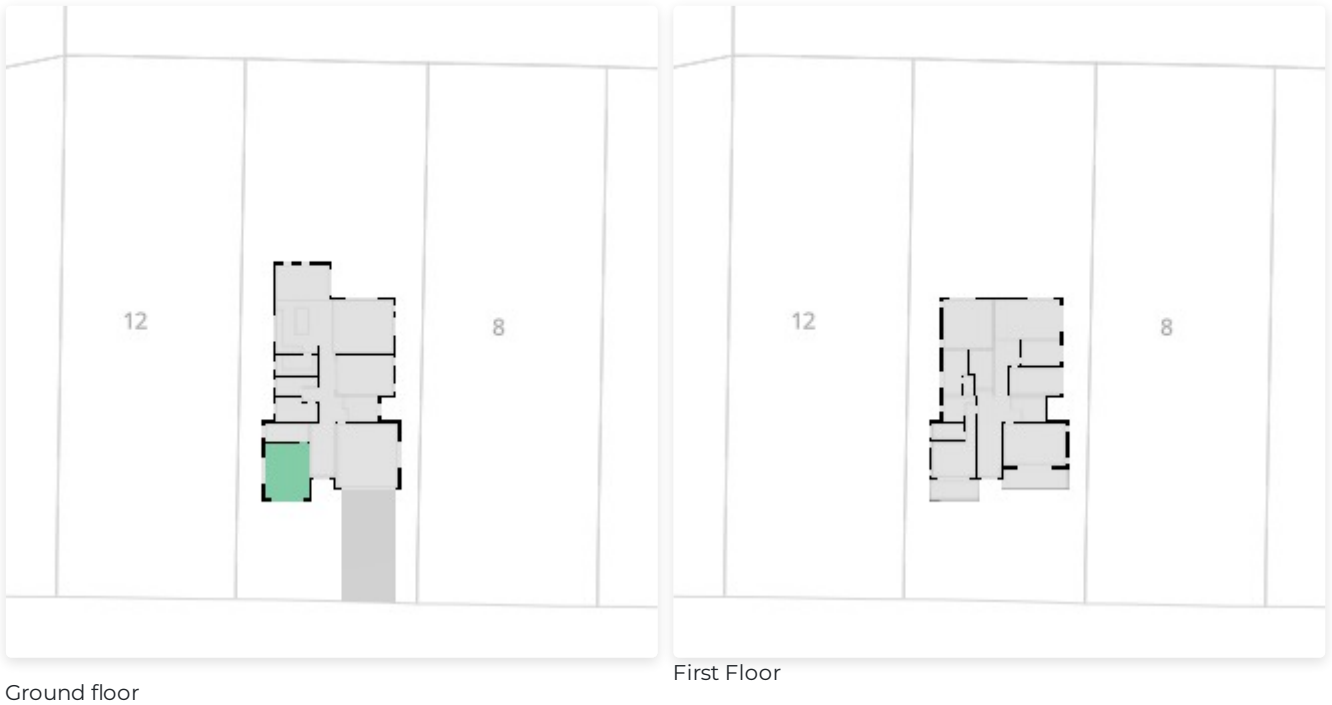
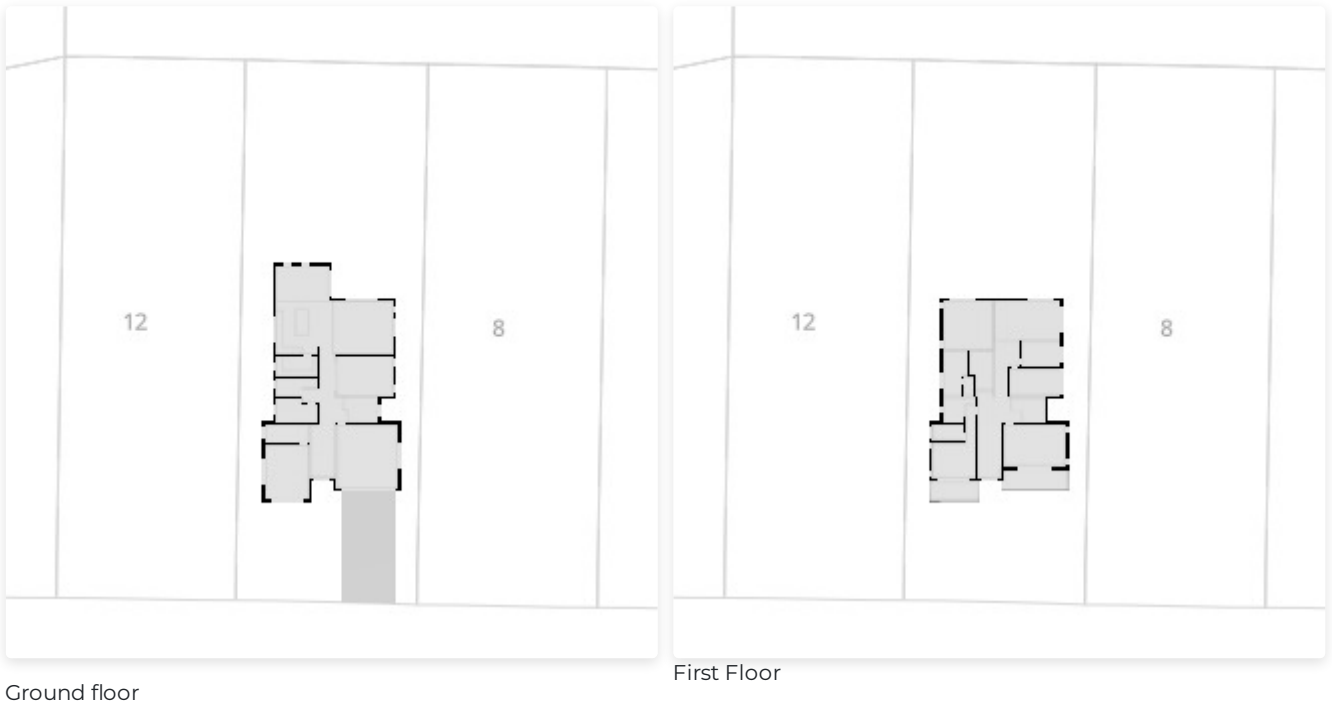


Image 58: 3.14: 2 Required elements

- b) at least 1 door and 1 window to a habitable room at ground floor level facing any parallel road. Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚠ Error

Image 59: 3.14: 3 Primary road frontage

A dwelling house with a setback from a primary road of at least 3m may have an articulation zone that extends up to 1.5m forward of the minimum required setback from the primary road. ✔

Refer to [this condition](#) in the Pre-DA Assist Report

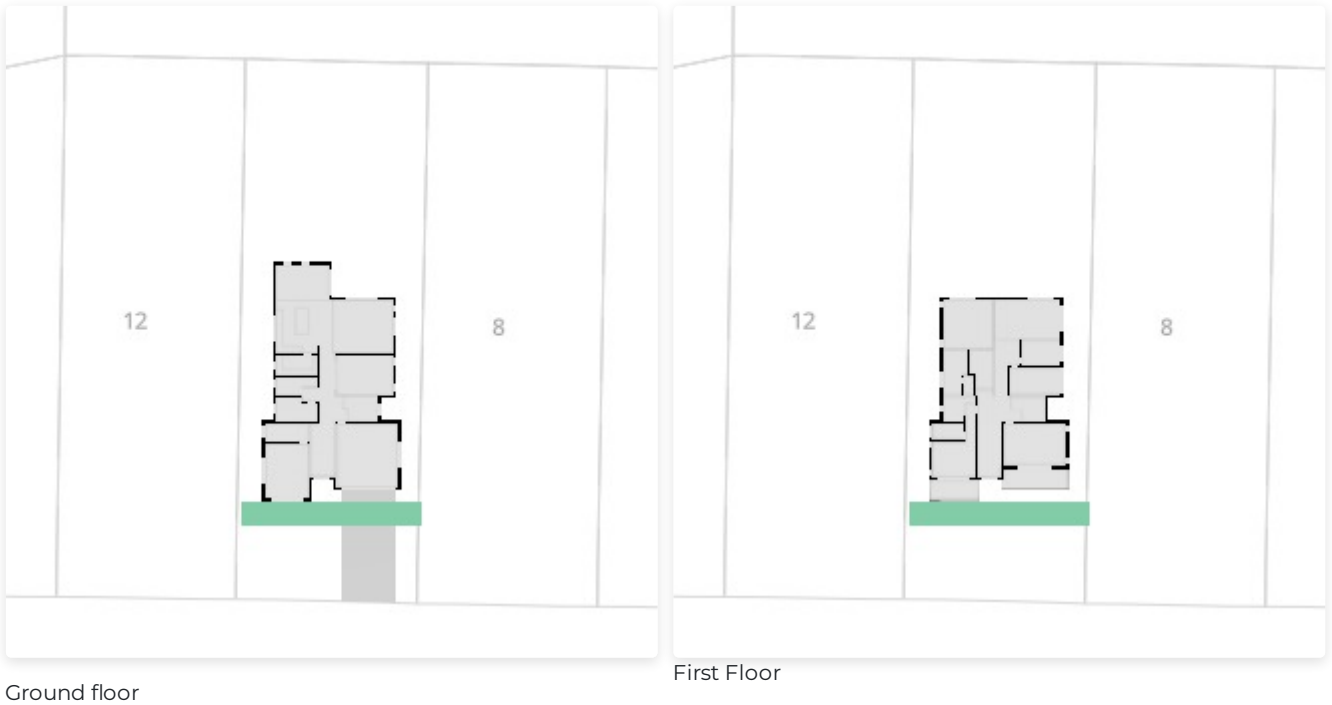


Image 60: 3.14: 4 Articulation zone

The following building elements may be located in the articulation zone

- a) an entry feature or portico,
- b) a balcony, deck, pergola, terrace or verandah,
- c) a window box treatment,
- d) a bay window or similar feature,
- e) an awning or other feature over a window,
- f) a sun shading feature,
- g) an eave.

✔

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 61: 3.14: 5 Maximum area in articulation zone

The maximum total area of all building elements in the articulation zone, other than a building element specified in subclause (4)(e), (f) or (g), must not comprise more than 25% of the area of the articulation zone. ✔

Refer to [this condition](#) in the Pre-DA Assist Report

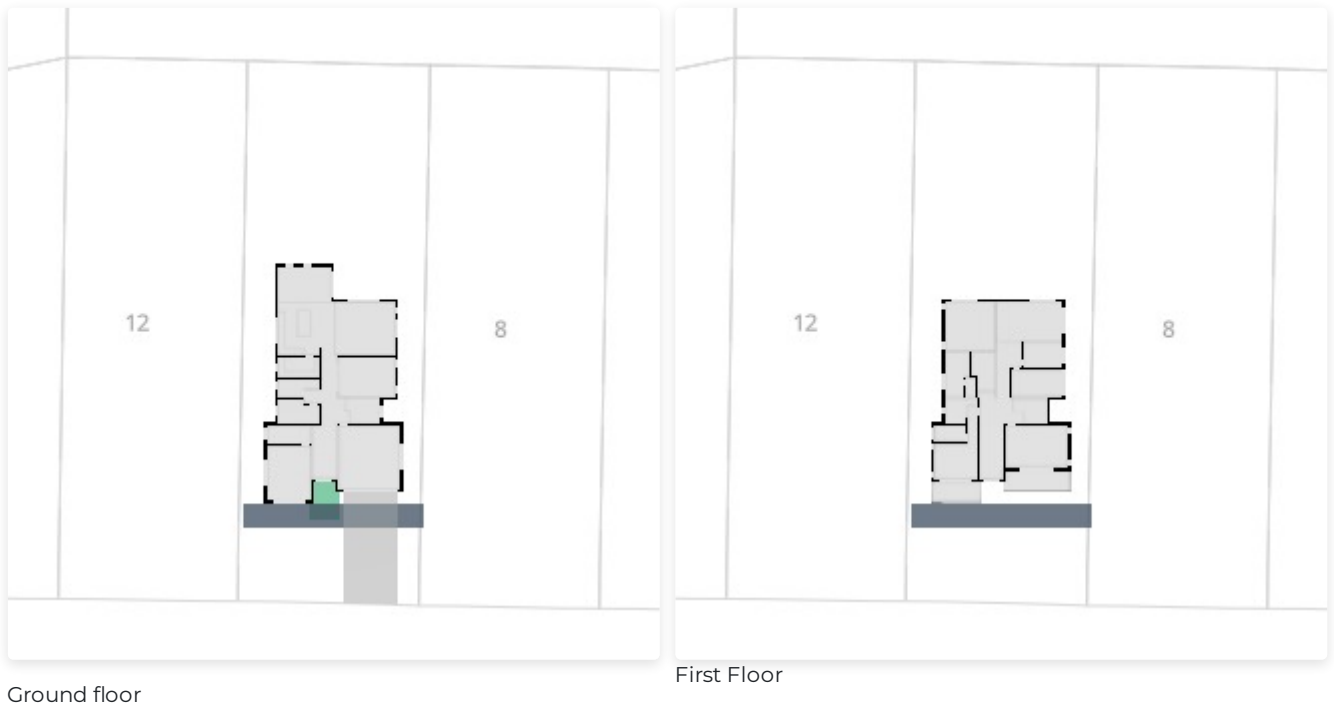
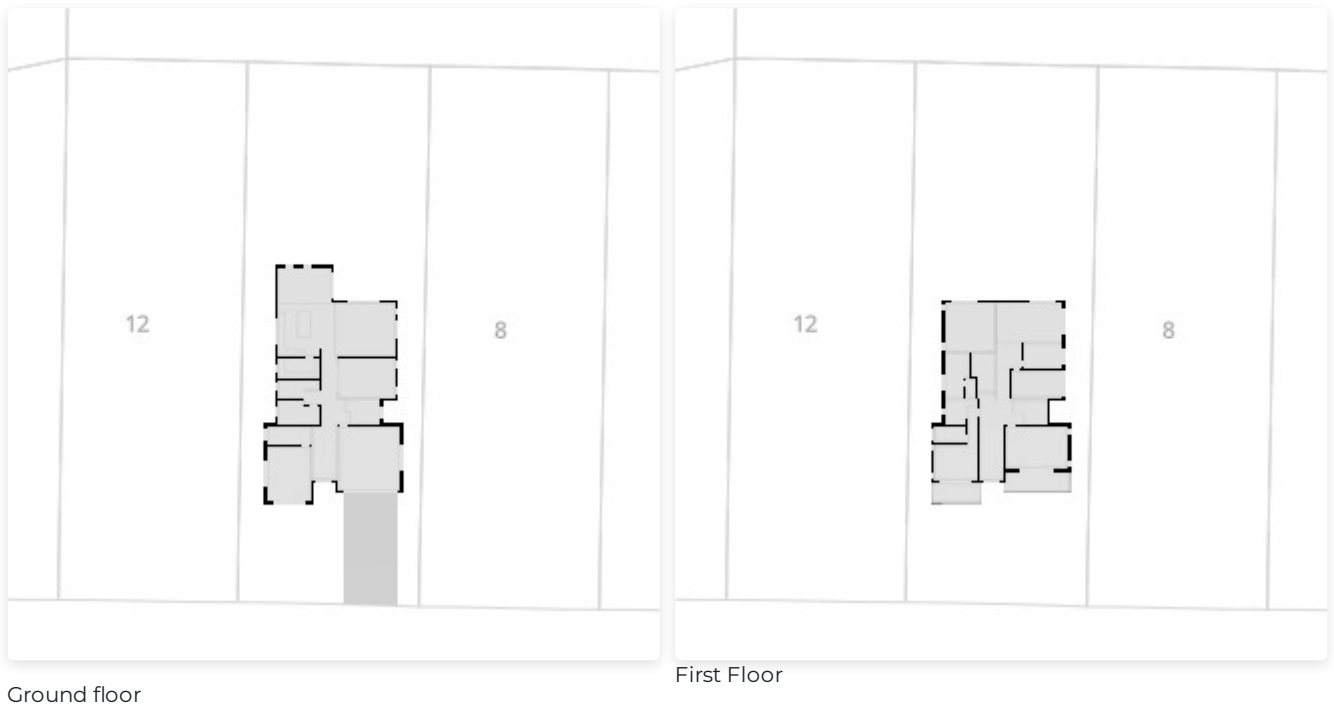


Image 62: 3.14: 6 Maximum height of building elements

Maximum height of building elements A building element on a dwelling house (other than an entry feature or portico that has the same pitch as the roof on the dwelling house) must not extend: ⚠

a) more than 1m above the gutter line of the eaves of a single storey dwelling house, or

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 63: 3.14: 6 Maximum height of building elements

b) above the gutter line of the eaves of a 2 storey dwelling house.
Refer to [this condition](#) in the Pre-DA Assist Report

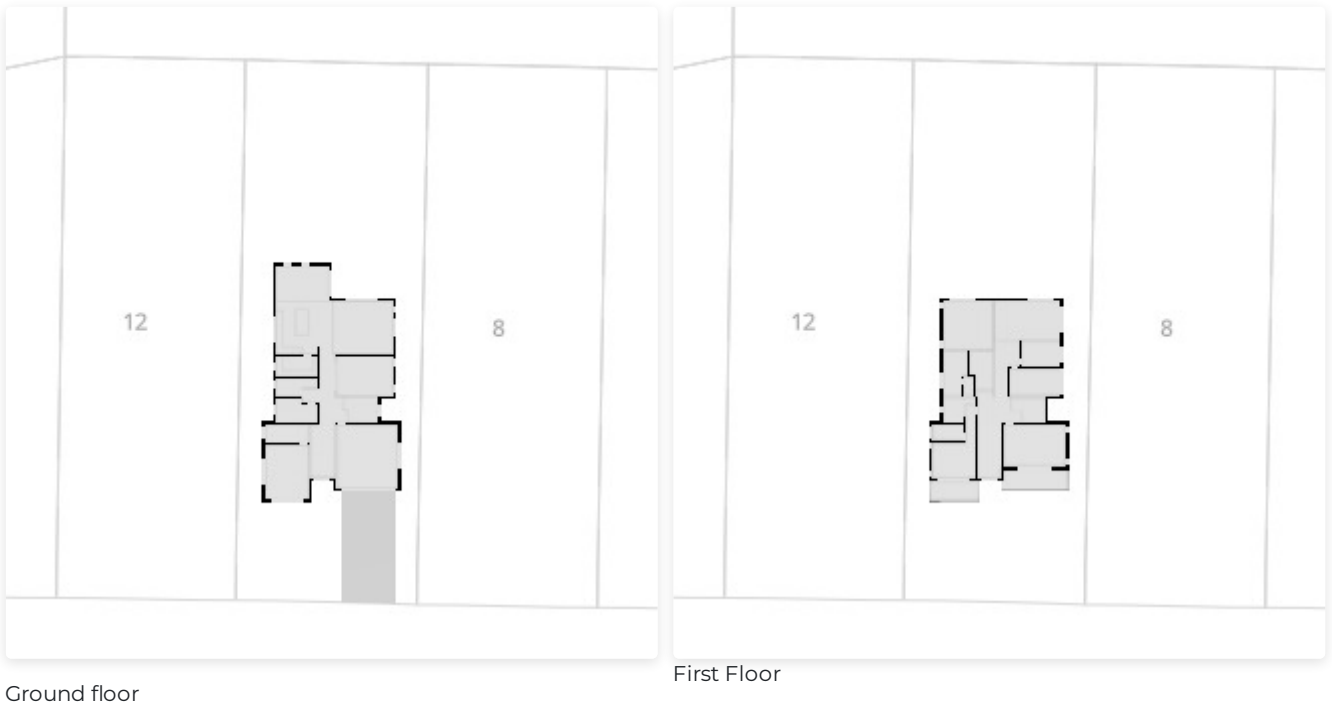
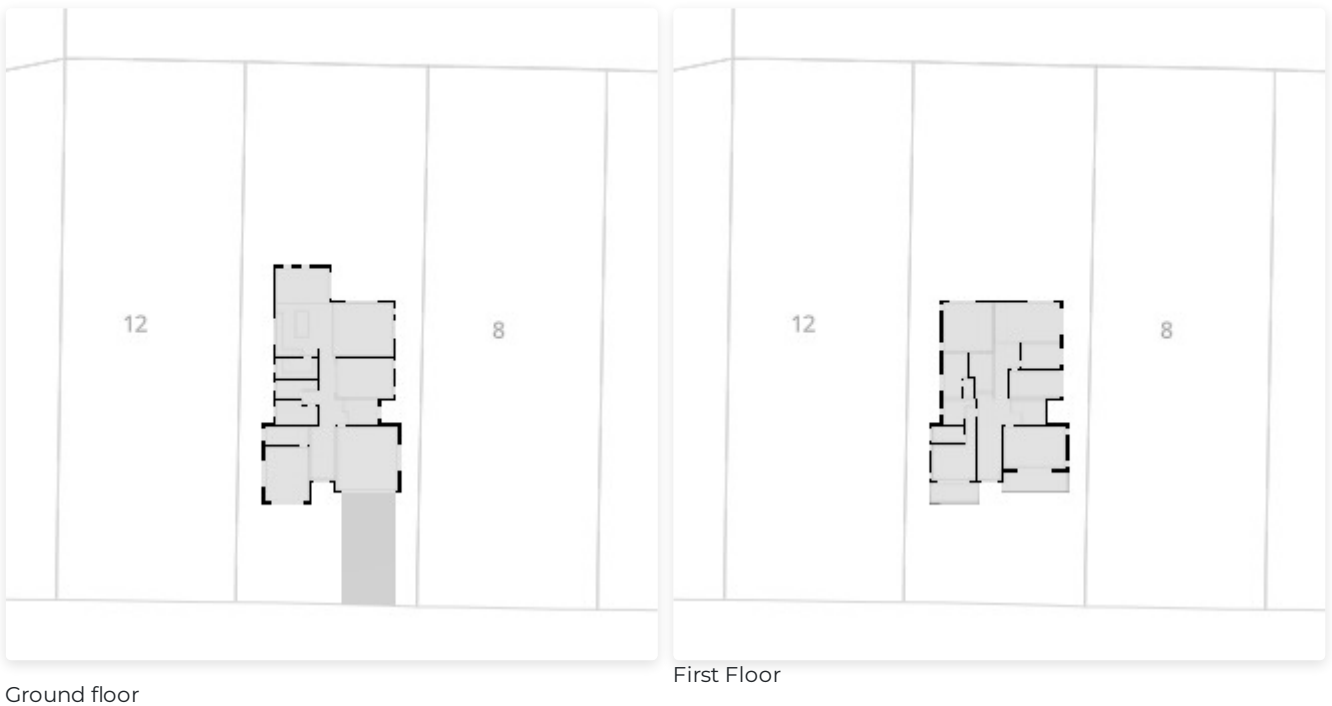


Image 64: 3.14: 7 Secondary road frontage on corner lots

Secondary road frontage on corner lots A dwelling house on a corner lot must have a window to a habitable room with an area of at least 1m2 that faces and is visible from the secondary road
Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚠ Error

Image 65: 3.14: 8 Secondary road frontage on corner lots

A dwelling house with a setback from a secondary road of not more than 4.5m must have at least one of the following building elements for a minimum length of 20% of the elevation of the walls that face the secondary road and that are within 4.5m of the secondary road

- a) an entry feature or portico,
- b) a balcony, deck, pergola, terrace or verandah,
- c) a bay window,
- d) a step of at least 600mm in depth.

Refer to [this condition](#) in the Pre-DA Assist Report

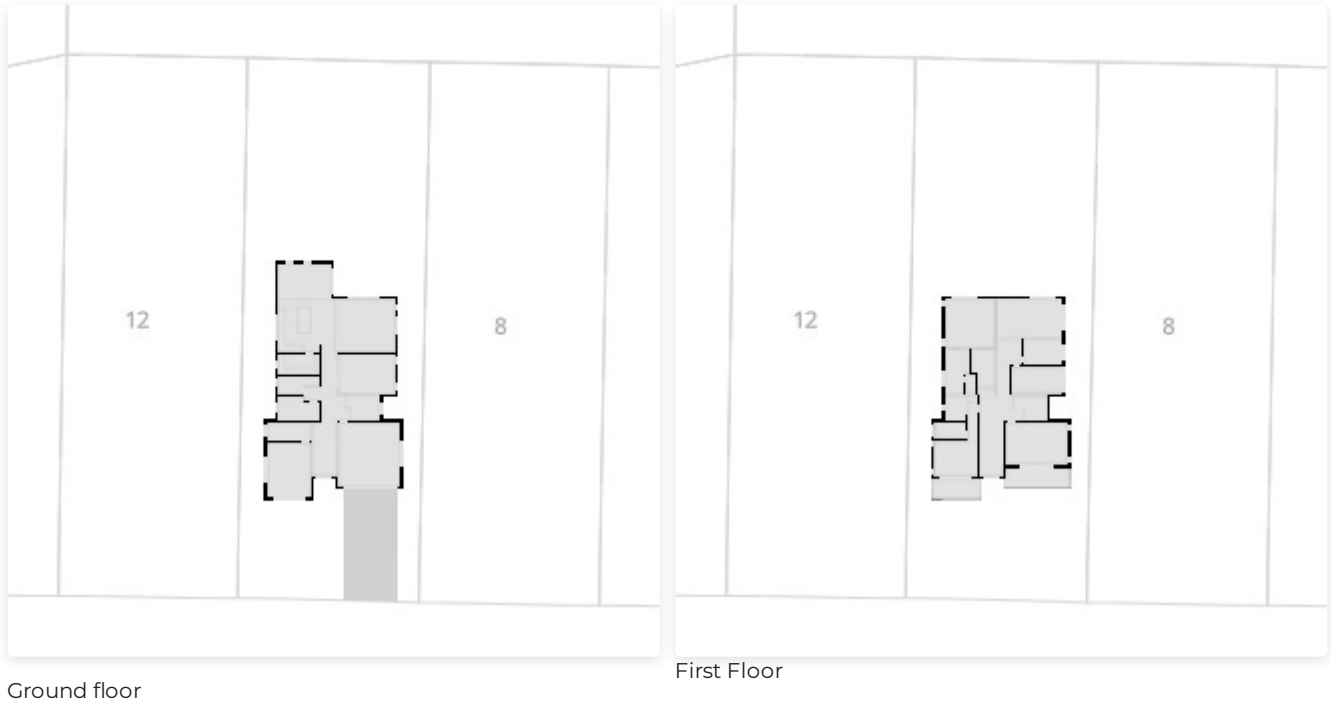


Image 66: 3.14: 9 Secondary road articulation zone

Building elements listed in subclause (8) may be located in a secondary road articulation zone if:

- a) the zone extends no more than 1m into the minimum required setback area and spans the length of the walls that face the secondary road, and

Refer to [this condition](#) in the Pre-DA Assist Report



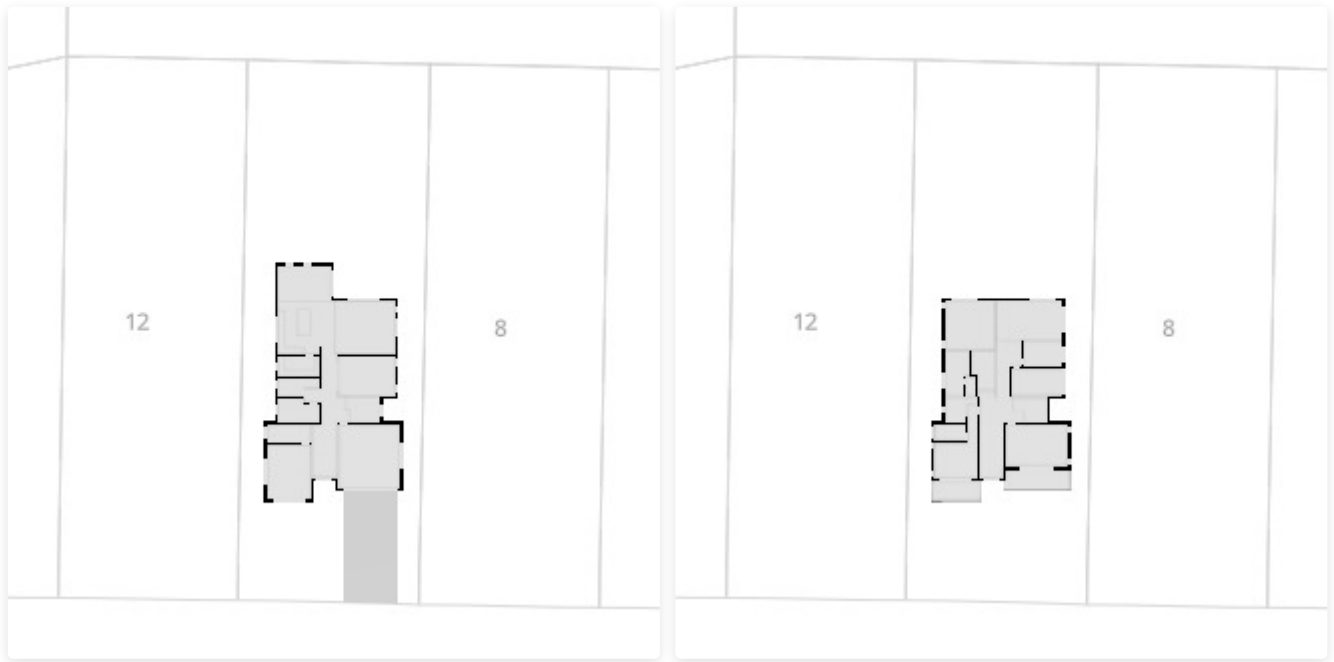
Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 67: 3.14: 9 Secondary road articulation zone

b) the building element comprises no more than 20% of the zone area.

Refer to [this condition](#) in the Pre-DA Assist Report



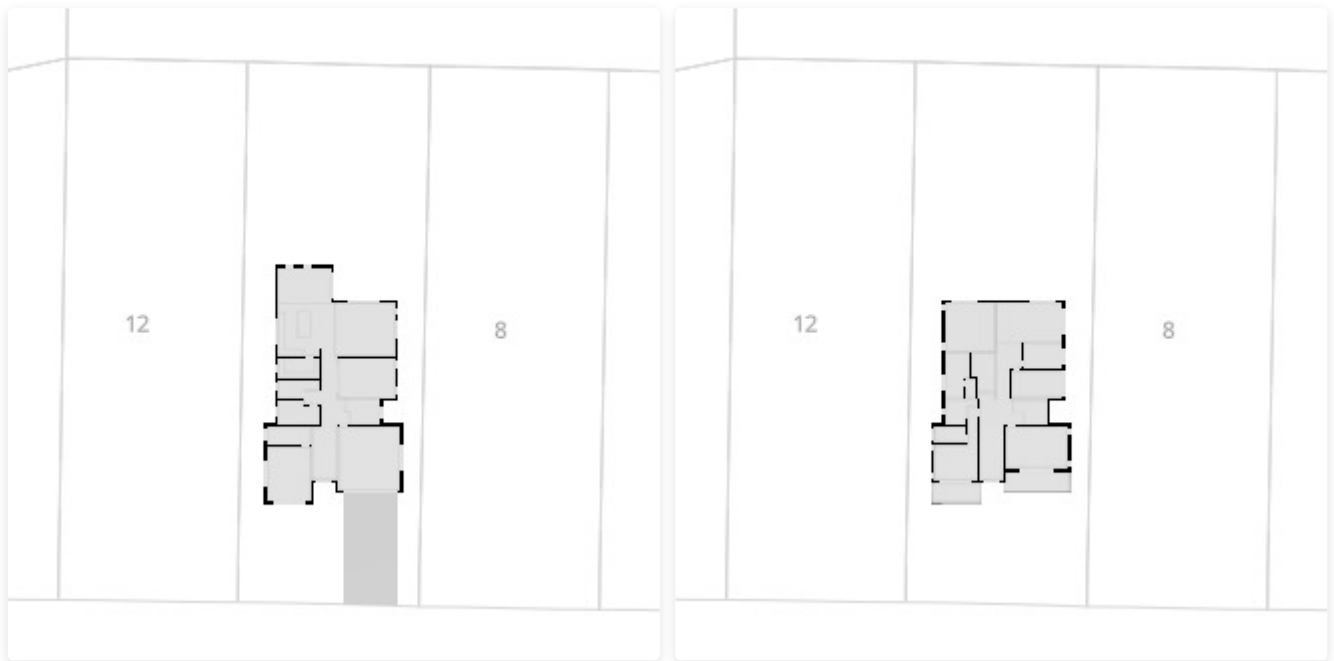
Ground floor

First Floor

Image 68: 3.14: 10 Gable or hipped roof

Any part of a gable or hipped roof that overhangs walls that are within 4.5m of the secondary road boundary must include eaves that extend for the length of those walls and project at least 450mm, but not more than 1m from those walls.

Refer to [this condition](#) in the Pre-DA Assist Report



Ground floor

First Floor

Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 69: 3.15: 1 Privacy Screens

A privacy screen must be provided for any part of a window to a habitable room that is less than 1.5m above the finished floor level of that room if ⚠
the window faces and is less than 3m from a side or rear boundary and the room has a finished floor level of more than 1m above ground level (existing), or
Refer to [this condition](#) in the Pre-DA Assist Report

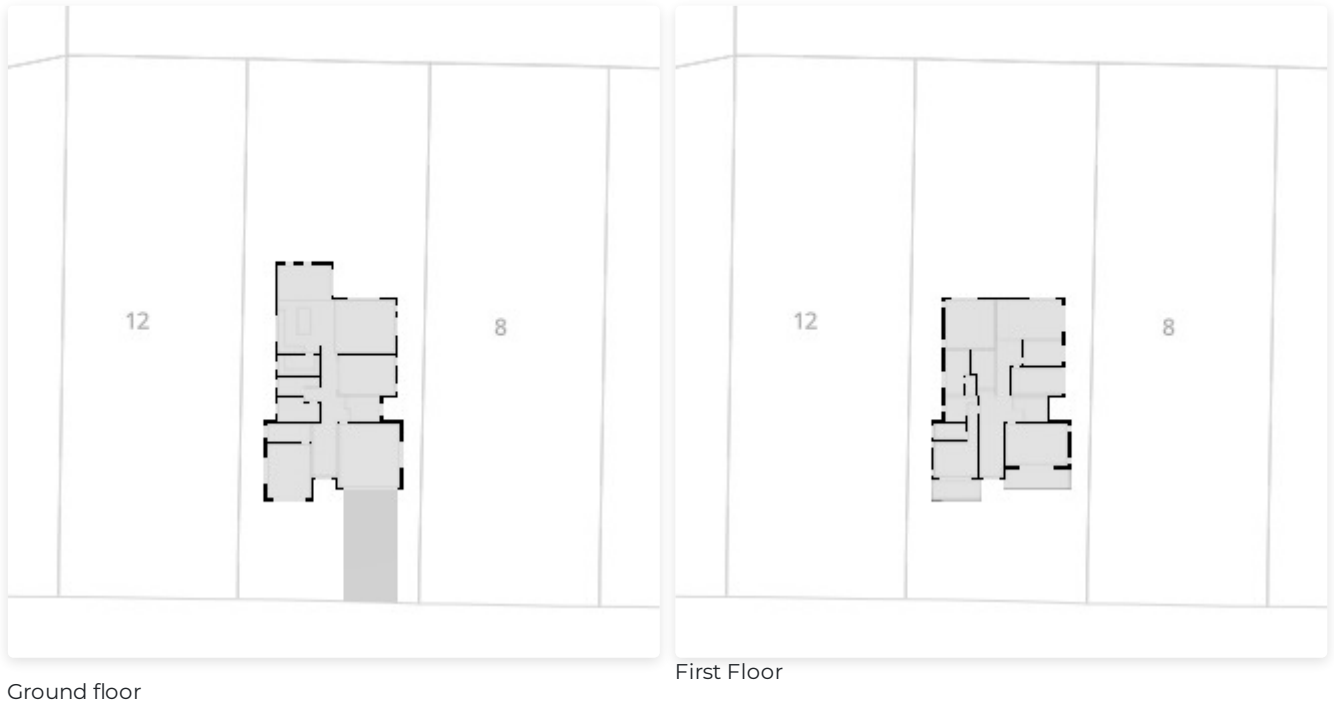


Image 70: 3.15: 1 Privacy Screens

b) the window faces and is at least 3m, but not more than 6m, from a side or rear boundary and the room has a finished floor level of more than 3m above ground level (existing). ⚠
Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 71: 3.15: 2 Privacy Screens - subclause

Subclause (1) does not apply to a bedroom window that has an area of not more than 2m².
Refer to [this condition](#) in the Pre-DA Assist Report

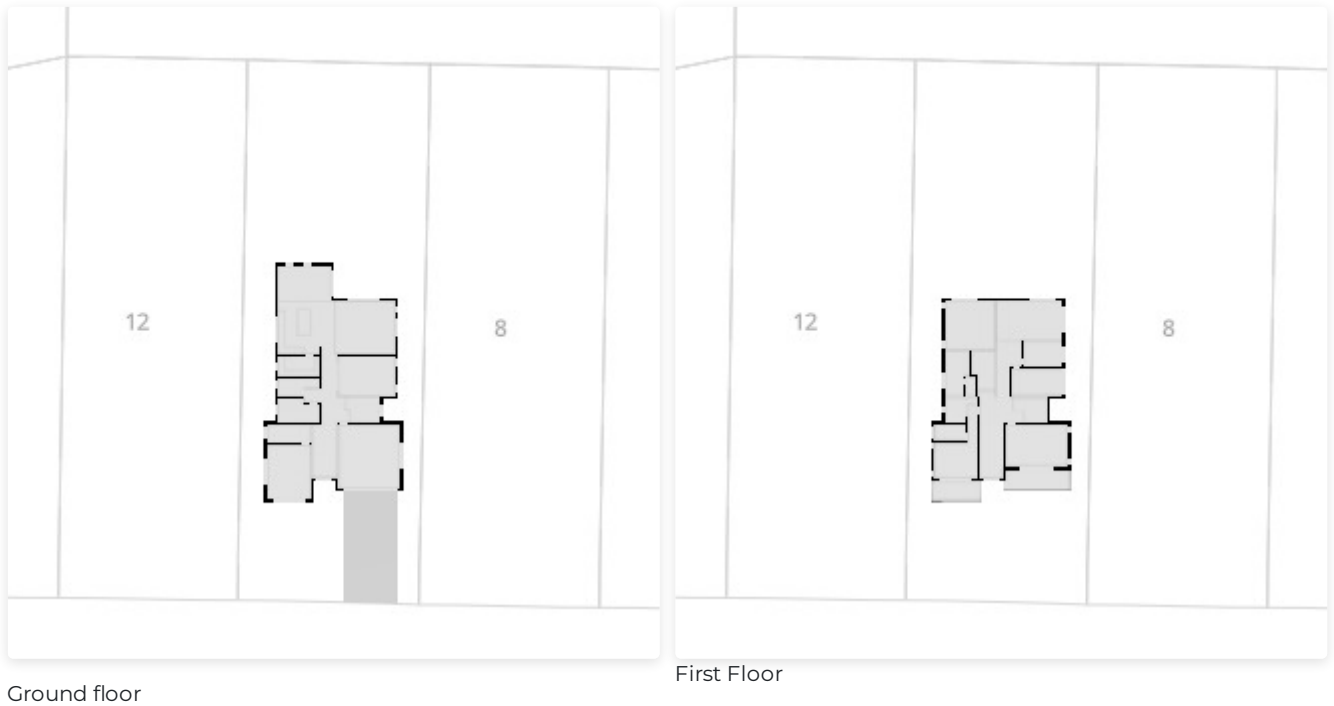


Image 72: 3.15: 3 Balconies, decks, patio, terrace and verandah

A privacy screen of at least 1.7m, but not more than 2.2m, above the finished floor level of a balcony, deck, patio, terrace or verandah must be installed at the edge of that part of the balcony, deck, patio, terrace or verandah that is parallel to or faces towards the relevant side or rear boundary if the area of the balcony, deck, patio, terrace or verandah is at least 3m² and



a) that edge is less than 3m from a side or rear boundary and the balcony, deck, patio, terrace or verandah has a finished floor level of more than 1m above ground level (existing), or

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 73: 3.15: 3 Balconies, decks, patio, terrace and verandah

b) that edge is at least 3m, but not more than 6m from a side or rear boundary and the balcony, deck, patio, terrace or verandah has a finished floor level of more than 2m above ground level (existing). ⚠

Refer to [this condition](#) in the Pre-DA Assist Report

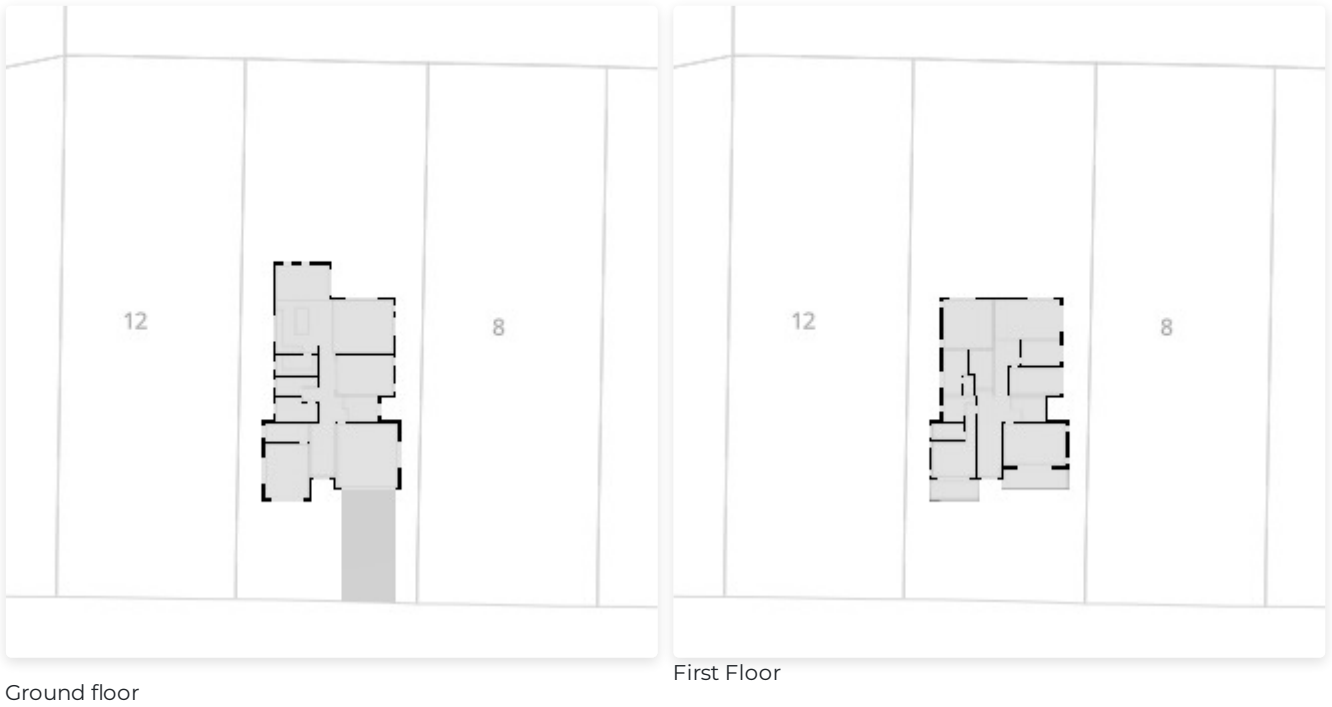


Image 74: 3.15: 4 Exception

This clause does not apply to any existing parts of a dwelling house or attached development that will remain on the lot after the complying development is carried out. ⚠

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 75: 3.16: 1 Off-street parking

At least 1 off-street car parking space, being an open hard stand space or a carport or garage, must be provided on a lot unless

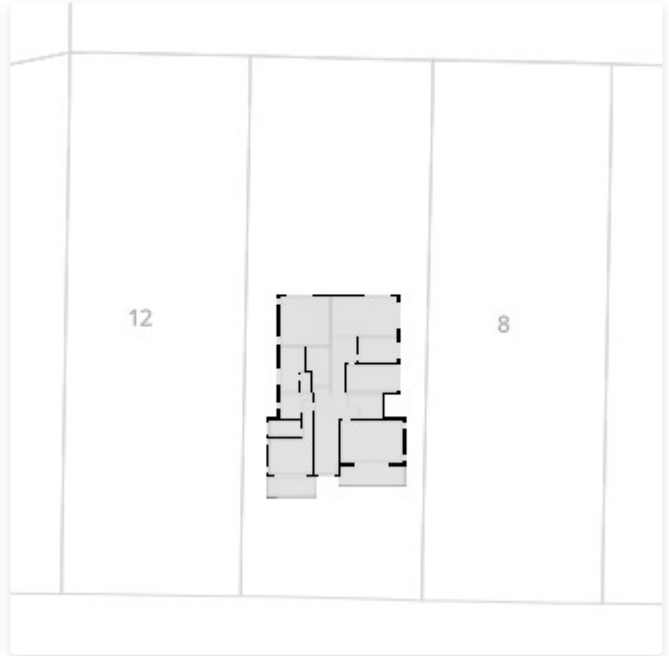


a) the lot has a width of less than 8m measured at the building line, or

Refer to [this condition](#) in the Pre-DA Assist Report



Ground floor



First Floor

Image 76: 3.16: 1 Off-street parking

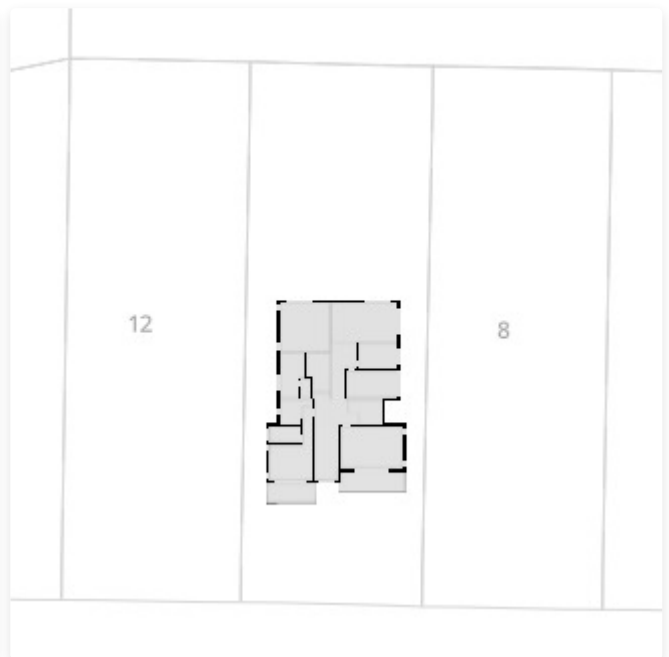
b) the complying development is the alteration of, or an addition to, a dwelling house and the lot does not contain an off-street car parking space, or



Refer to [this condition](#) in the Pre-DA Assist Report



Ground floor



First Floor

Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 77: 3.16: 1 Off-street parking

c) the complying development is the erection or alteration of, or an addition to, attached development and the lot does not contain an off-street car parking space. ⚠

Refer to [this condition](#) in the Pre-DA Assist Report

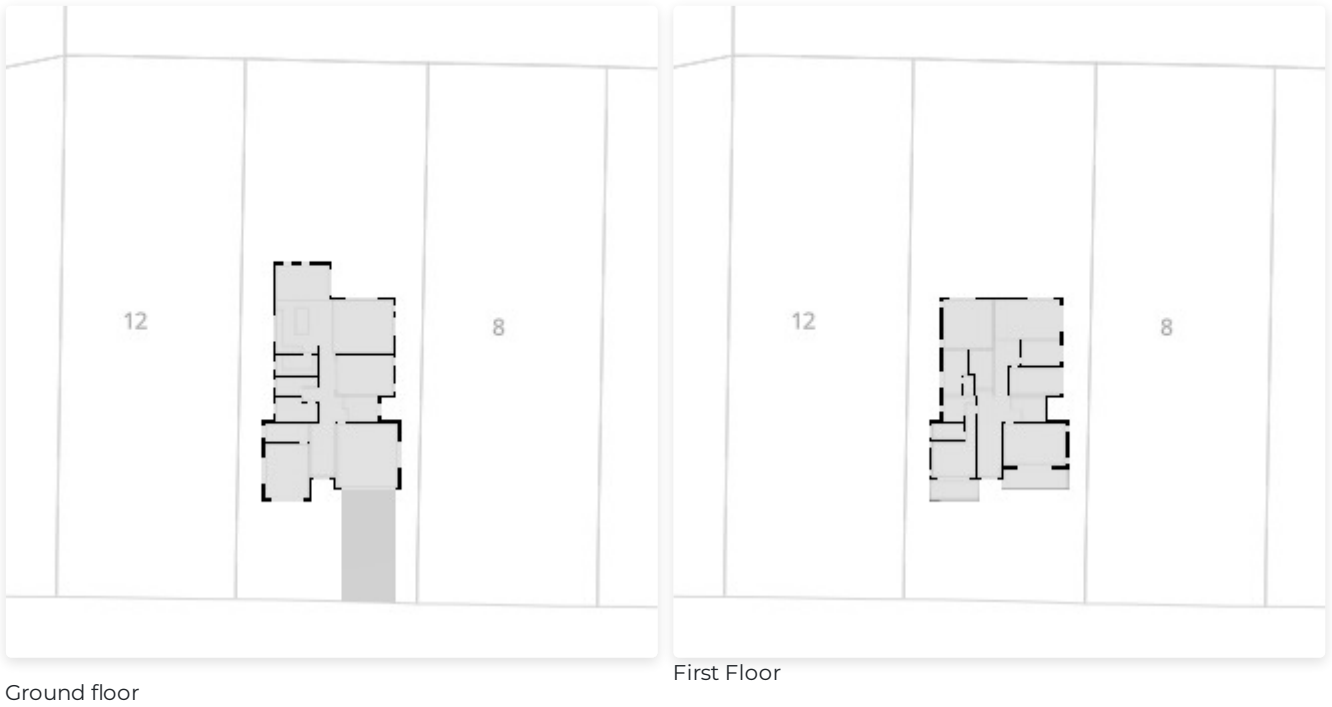


Image 78: 3.16: 2 Compliance

All off-street car parking spaces and vehicle access must comply with AS/NZS 2890.1:2004, Parking facilities, Part 1: Off-street car parking. ⚠

Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 79: 3.16: 3 Off-street parking spaces for battle-axe

The off-street car parking space for a battle-axe lot must be constructed so that vehicles can leave the lot in a forward direction



Refer to [this condition](#) in the Pre-DA Assist Report

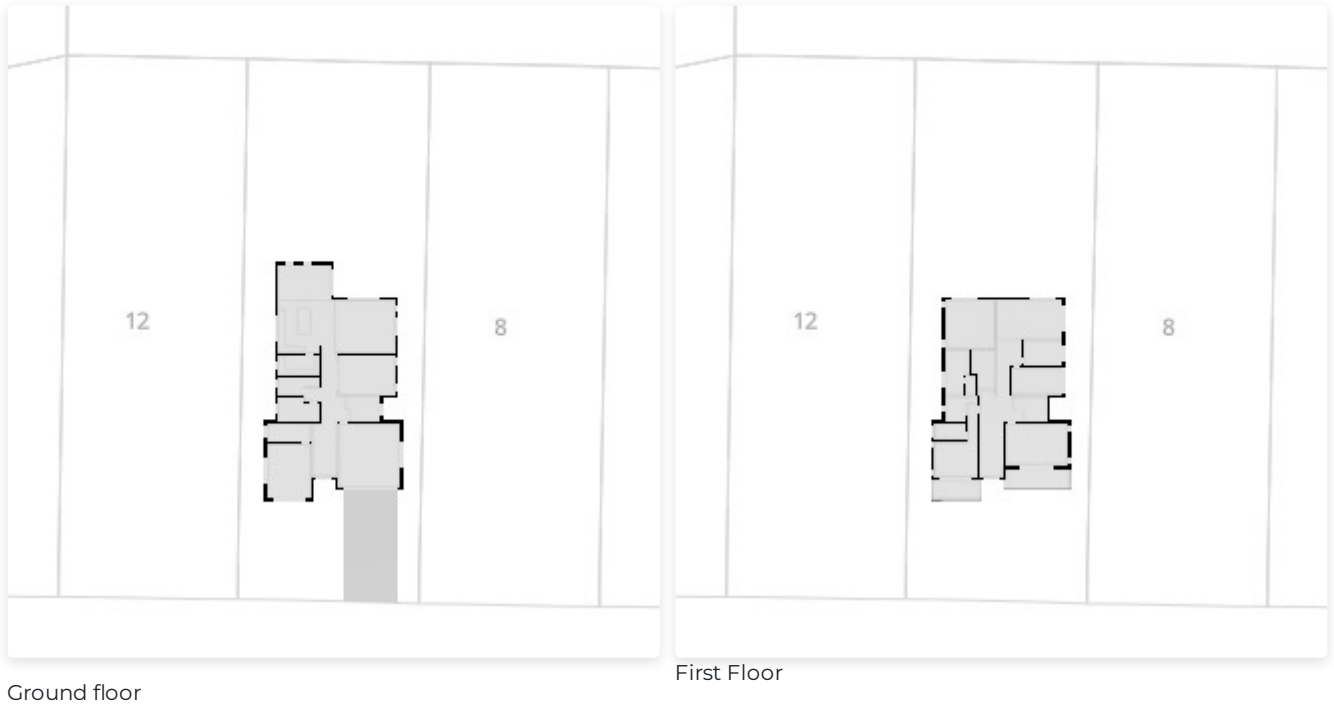
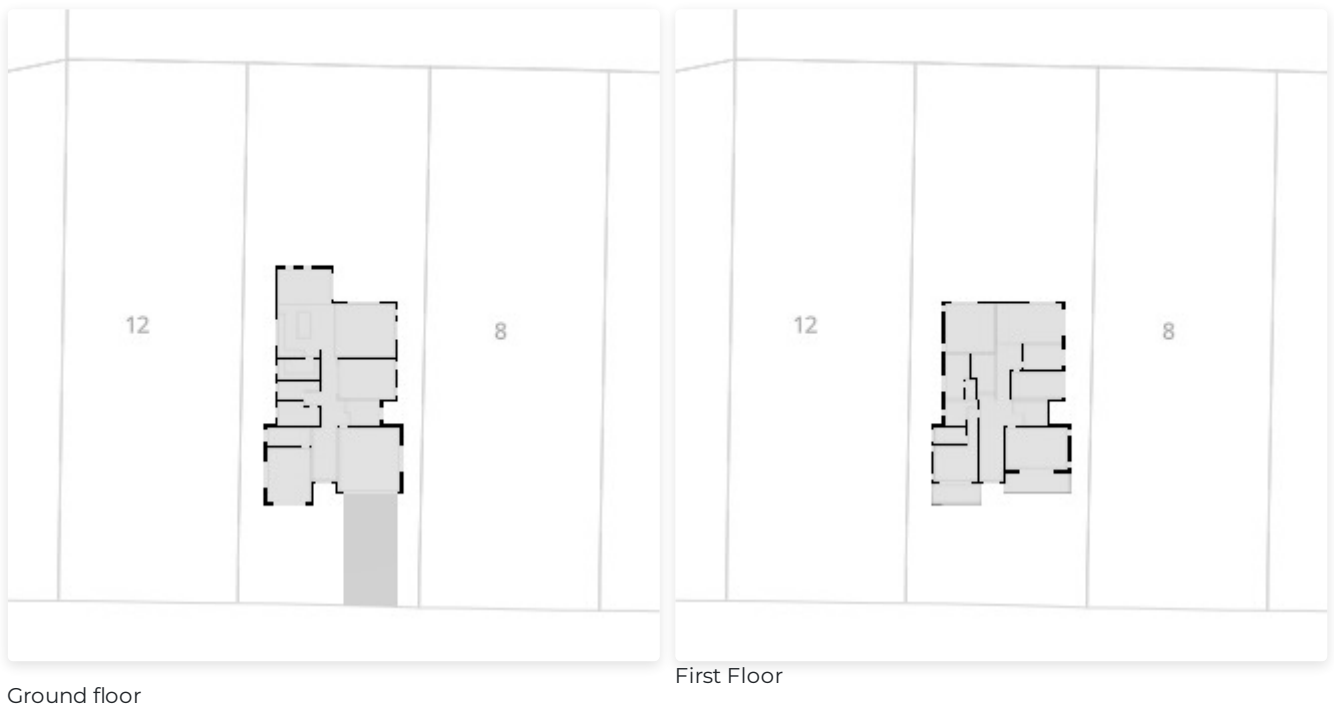


Image 80: 3.16: 4 Attached garage

An attached garage may only be erected on a lot that has a width of less than 8m measured at the building line if the garage is accessed only from a secondary road, parallel road or lane.



Refer to [this condition](#) in the Pre-DA Assist Report



Appendix

✔ Passed ? Insufficient ✖ Failed ⚠ Not Supported ⚪ Not Applicable ⚡ Error

Image 81: 3.16: 5 Vehicle access

An attached garage, carport or car parking space accessed from a primary road must have a minimum setback as shown in the table provided ✔

Refer to [this condition](#) in the Pre-DA Assist Report



Image 82: 3.16: 6 Maximum Width

The maximum width of all garage door openings facing a primary, secondary or parallel road is shown in the table provided ✔

Refer to [this condition](#) in the Pre-DA Assist Report

